



**Agenda**  
**Huntington Planning Commission**  
Monday, August 5, 2024 – 5:30pm

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1. Preliminaries
2. Call to Order
3. Roll Call
4. Approval of the July 2024 Minutes
5. New Business

**PC 24-05**

*Issue:* Plan review of a proposal to subdivide a  $\pm 1.46$  acre parcel from the 24.27 acre parcel at 2300 Third Avenue and develop two street improvements. The property is located on the north side of 3rd Avenue and between the railroad tracks and 24th Street and zoned I-1 Light Industrial/Commercial District.

*Owner/Petitioner:* Huntington Municipal Development Authority, 800 5<sup>th</sup> Avenue, Huntington, WV 25701

6. Good and Welfare
7. Other Business or Announcements
8. Adjournment

**Minutes**  
**Huntington Planning Commission**  
**July 1, 2024**

A meeting of the City of Huntington Planning Commission was held on July 1, 2024 at 5:30 p.m. in the City Hall Council Chambers. Ms. Walling called the meeting to order.

Members Present: Sharon Pell, Holly Smith Mount, Sarah Walling, Ursulette Ward, Ford Rucker, Stephanie Bryant

Members Absent: Brian Gallagher, Carl Eastham, Charles Shaw

Staff Present: Stephanie Petruso, Senior Planner  
Ericka Hernandez, Assistant City Attorney  
Steve Curry, Associate Planner

*Ms. Mount* made a motion to adopt June 3, 2024 Minutes. *Ms. Bryant* seconded motion. All were in favor, Minutes were approved.

**Old Business**

**PC 24-04**

Issue: A petition to rezone property from R-1 Single-Family Residential District to C-2 Highway Commercial District. The properties are located on the southeastern corner of Washington Boulevard and Parkway Drive and consist of four parcels owned by ReClaim Church including the main building, fellowship center, and parking lot.

*Petitioner/Property Owner: ReClaim Church, Inc., 3135 Washington Blvd., Huntington, WV 25705 37408*

Mr. Curry read the Staff Report.

*Ms. Walling* asked for the representative of the petitioner speak on behalf of the petition.

Pastor Corey Adkins, speaking on behalf of ReClaim Church, gave Planning Commission members and staff handouts that provide answers to the questions laid out in the supplemental staff report.

Pastor Adkins asked the board to change the petition to rezone the church's parcels to C-1 Neighborhood Commercial instead of C-2 Highway Commercial as was originally petitioned and believed it is a good compromise that helps everyone.

Pastor Adkins answered the additional questions asked of the petitioner in the supplemental staff report. He said rezoning to C-1 would be consistent with the comprehensive plan's land use designation of the area. He explained that there has been an increase in the amount of homelessness in the area and he has found needles and syringes around the church. He claimed people have also broken into the church. He explained there has also been an increase in general traffic in the area.

Pastor Adkins continued that the rezoning to a C-1 would create a good transition between the existing C-2 District on Route 60 and the residential areas behind the church and did not believe it will decrease property values in the area.

Pastor Adkins said the rezoning will allow him to fill a vacant building with a business that will put up security measures that will help deter homeless and drug users from loitering on the church's property and surrounding area. He commented the building will look nicer once the business moves in and will add to the community.

Pastor Adkins explained the hardship faced from the current zoning is the inability to use their building for the purpose of long-term sustainability of the church and current zoning prevents the church from engaging in a partnership with a local business. The building had been vacant for 7 months and Pastor Adkins said that the property was well-suited for the new zoning.

*Ms. Walling* asked Pastor Adkins about the decline in membership at the church that was referenced in the previous month's meeting.

Pastor Adkins clarified that the decline occurred among the Wesleyan Church as a whole, not specifically ReClaim Church.

*Ms. Walling* asked Pastor Adkins to remind the board what was the building's previous use.

Pastor Adkins said it was a daycare.

No further discussion.

*Ms. Mount* motioned to pass along the petition to City Council with a favorable recommendation.

*Ms. Ward* seconded.

*Ms. Walling* commented that the decline of the previous church's members was something that the comprehensive plan did not anticipate and that in any event, an occupied building is always more preferable to a vacant one.

*Ms. Hernandez* pointed out that the petition is currently to rezone to C-2.

The board agreed to amend the motion to a C-1 rezoning.

All were in favor, the amended motion was approved.

*Ms. Mount* motioned to adjourn.

Meeting adjourned at 5:55 P.M.

Date approved: \_\_\_\_\_

Chairperson: \_\_\_\_\_ Prepared by: \_\_\_\_\_  
Sarah Walling, Vice Chair Steve Curry, Associate Planner

**Staff Report:** A petition for a Major Subdivision to subdivide an approximately 1.46 acre parcel and develop two street improvements.

**PC 24-05**

*Issue:* Plan review of a proposal to subdivide a ±1.46 acre parcel from the 24.27 acre parcel at 2300 Third Avenue and develop two street improvements. The property is located on the north side of 3rd Avenue and between the railroad tracks and 24th Street and zoned I-1 Light Industrial/Commercial District.

*Owner/Petitioner:* Huntington Municipal Development Authority, 800 5<sup>th</sup> Avenue, Huntington, WV 25701

**Introduction**

The Huntington Municipal Development Authority (HMDA) is proposing to subdivide a ±1.46 acre parcel from the remaining 24.27 acre parcel at 2300 Third Avenue. The full parcel is located on the north and south sides of 3rd Avenue and between the railroad tracks and 24<sup>th</sup> Street. The proposed subdivided parcel is within the 14 developable acres on the north side of 3rd Avenue.

**Existing Conditions**

This property is currently vacant except for one remaining building, all other structures have been demolished and is known as the historical site of the American Car Foundry business.

**Proposed Conditions**

The petitioner is proposing to subdivide a single ±1.46 acre parcel from the current 24.27 acre property. This subdivision only concerns the portion of the property north of

3<sup>rd</sup> Avenue. The parcel to be created includes the remaining structure with renovations and additions and the creation of a parking lot. In addition to the subdivision the proposal includes the proposal of two new publicly owned streets to the development.

The street improvements include the following characteristics:

**Foundry Avenue**

- Running East – West, parallel to 3<sup>rd</sup> Avenue
- Two 12 foot travel lanes
- 49.2 feet of right of way
- 2 foot wide gutter pan with 6 inch curb
- Proposed 8 inch sanitary sewer line and separate stormwater line

**23<sup>rd</sup> Street**

- Running North – South, intersects with 3<sup>rd</sup> Avenue
- Two 12 foot travel lanes
- 49.2 feet of right of way
- 2 foot wide gutter pan with 6 inch curb
- Proposed 8 inch sanitary sewer line and separate stormwater line

The roadway engineers have also completed a drainage report and a plan for acceptance of the roadways into the City network.

The initial step in accepting these roads includes this preliminary review of the roadways’ design and location. Once approved, the development can proceed and will be required to be built to city and state



## PC 24-05 Staff Report

standards. Once construction is complete, the City Public Works office will engage an engineer to complete a final inspection to ensure the roads have been developed to a standard that the City will accept and at that point the roadways will be dedicated.

Due to budgetary restrictions, the roadway does not propose any sidewalks or lighting adjacent to travel lanes on either side. The right of way is wide enough to allow for construction of sidewalks and the conduit to allow for lighting at a later date depending on the development use.

### **Development Ordinance**

The City of Huntington's Development Ordinance is triggered by new commercial, industrial, governmental/public/non-profit, religious, or multi-family residential development of one acre or more; and any size development requiring new streets or extension of the local governmental facilities, or the creation of any public improvements.

The purpose of the Development Ordinance 1375.01 is to *“provide for the harmonious development of the City of Huntington; to provide wholesome living environments, including sound building sites, for the residents of the City; to effect the coordination of roads in developments with other existing or planned roads, to aid in coordinating development plans with municipal and state plans; to provide adequate open space for light, air, and recreation; to conserve natural, scenic, historical, and recreational areas; to aid in enhancing the public health, safety, and welfare by requiring that facilities, such as roads, water mains, sewers, and drainage facilities, be installed within developments*

*prior to the sale of lots or parcels in order that excessive public expenditures for such facilities will be avoided.”*

The development ordinance also lays out requirements for lots and street designs according to Section 1387.06 Lots and Section 1389.04 Street design requirements. These codes are referenced in the staff comments below.

### **Comprehensive Plan**

The Future Land Use map of the Plan2025 Comprehensive Plan designates this area as Light Industrial and Commercial. This designation provides a lower intensity industrial district that allows creative reuse of industrial sites that can complement certain residential areas. Characteristics include:

- Medium sized lots near railroad or riverfront
- Industrial properties that are close to residential uses
- Allows mixed light industrial, commercial, and residential uses

### **Department/Agency Comments**

Major subdivisions and projects that fall under the development ordinance must also be reviewed by the Public Works Director, the Cabell Huntington Health Department, and the Huntington Sanitary Board to ensure that the proposed development will not put a strain on roadways, utilities, and city services.

- Public Works: Plans have been reviewed and design meets City criteria with minor changes.
- Cabell Huntington Health Department: Plans to be submitted after review by Huntington Sanitary Board and WV American Water.

PC 24-05 Staff Report

- Huntington Sanitary Board: Awaiting final approval.
- AEP: Plans submitted. Awaiting comment.
- Huntington Stormwater Quality Board: Plans to be submitted.
- Mountaineer Gas: No issues.
- Thundercloud: Coordinating for future connectivity to development.
- WV American Water: Coordinating to service facility.
- WV Department of Environmental Protection: Application to be submitted after stormwater design is completed and limits of disturbance are finalized.
- WV Division of Highways: Application has been submitted. Awaiting approval.
- WV State Fire Marshal: Plan submitted. Awaiting approval.

**Staff Comments**

In order to review these items which are interrelated but address their unique issues, staff recommends taking their review in two phases. First reviewing the subdivision and then second, the roadway creation, comments are reflected as such below.

*Subdivision:*

As this area is designated as a Light Industrial District in Plan2025, Staff does not believe that this proposal to subdivide this property goes against the Comprehensive Plan.

In addition, this property has been part of several planning efforts involving the community to determine future redevelopment opportunities in line with the Comprehensive Plan and to support development that can occur even with the

restrictions from the former use of this property as heavy industrial. One such plan is a revised version from the very comprehensive Brownfields Redevelopment Plan, Huntington Brownfields Innovation Zone (completed in September 2017).

[https://www.cityofhuntington.com/assets/pdf/2017\\_0922\\_HUNT\\_Highlawn%20Report%20FINAL.pdf](https://www.cityofhuntington.com/assets/pdf/2017_0922_HUNT_Highlawn%20Report%20FINAL.pdf)

According to Section 1387.06 Lots:

*The following regulations shall govern the design and layout of lots:*

*A. The lot arrangement and design shall be such that all lots will provide satisfactory building sites, properly related to topography and the character of surrounding development.*

*B. All lots shall conform to or exceed the requirements of these development regulations and the zoning district requirements for the district in which they are located and the use for which they are intended.*

Please see the following requirements for Lot creation and the proposed lot being developed:

Minimum Lot Area in I-1: 3000 sf	Proposed Lot Area: 1.46 acres
C. Each lot shall front on a paved street.	Proposed: 23 <sup>rd</sup> Street
D. All side lot lines shall be at right angles to street lines	Proposed: Met
F. No lot shall have a depth of less than one hundred twenty (120) feet	Proposed depth: 202 ft. Proposed width: 314 ft.

Based on this review the subdivision of the resulting lot looks to meet the requirements of the Zoning and Development Ordinance.

## PC 24-05 Staff Report

The proposed use of the resulting parcel is a lease to a unit of Marshall University Advanced Manufacturing Center which would not require City of Huntington Plan review due to being owned by a public entity.

The current plan is a continuation of a larger subdivision, roadway network creation, and redevelopment plan that will include other parts of this property to the north and south of this site but due to the requirement to have lots front onto a paved street per Development Ordinance 1387.06(C), this section of the plan is being finalized now.

Additionally, future development of this area would potentially result in lots that are over one acre, requiring development on all remaining lots to go before the Planning Commission for further plan review before they could be approved and any building permits could be obtained. At that point, Planning staff and partner agencies will be able to provide comment on and react to any proposed development on the site. These future meetings will provide additional opportunities for public input and comment on proposals for this site.

### *Street Design Approval:*

According to the development ordinance, new street construction should conform with Section 1389.04 Street design requirements.

Key elements of this review include:

- Street sub-surface and surface materials
- Curbs, gutters and drainage
- Street naming conventions
- Sidewalks and Walkway/Street Lighting
- Utility Provisions
- Drainage Improvements.

The existing plan looks to meet preliminary requirements for these requirements or will have to by the time of the roadway dedication.

The Planning Commission can review the drainage report, detailed roadway designs, and inquire about traffic impact studies that have been done to gather more information about the roadways that are being proposed. At this time the plan does not show any lighting or sidewalk improvements.

According to Section 1387.05.B

*Public sidewalks, walkways may be required for all commercial and industrial development subject to the approval of the Planning Commission.*

The Planning Commission may inquire about pedestrian improvements such as sidewalks, lighting, and street trees as part of the right of way development for this project and determine whether they will be required as part of the design. The petitioner states that due to budgetary restraints lighting and sidewalks are not included at this time but did make accommodations including right of way width and conduit space for lighting at a later date. The development will also include lighting. Consideration was given that depending on the end user of the development sidewalks may or may not be preferred.

Staff recommends encouraging sidewalk provisions wherever feasible to encourage safe connectivity for pedestrians using the development.

Once those details have been decided, the incorporation of two new streets into the

## PC 24-05 Staff Report

development design is an improvement to the layout in order to be able to increase connectivity within the site, encourage more lots to be subdivided and developed, and to create more connections to the surrounding street grid network. The street proposal is in line with planning processes that have come before and will enable future development to occur on this property and increase economic development opportunities.

### **Attachments**

- Application
- Proposed Development
- Proposed Roadway Design
- Proposed Parcel Survey
- Aerial Map
- Zoning Map
- Future Land Use Map
- Drainage Report (available upon request)



# Major Subdivision Application

Huntington Planning Commission

800 5th Avenue  
Huntington, WV 25717-1659

This application should be used for a division of a tract/parcel of land that involves the following:

- Commercial, industrial, governmental, religious, non-profit or public, and multi-family residential developments of one (1) acre or more.
- Single-family residential developments of 4 or more lots. Single-family residential developments of 1-3 lots that fall under Article 1389 Hillside Regulations.
- Any development requiring any streets or extension of the local governmental facilities, or the creation of any public improvement.

Please complete and return this application along with a Plat/Survey of the subdivision, a Metes & Bounds Description prepared by a Certified Surveyor, two (2) copies of the Preliminary Plans and a \$100 processing fee to the Planning and Zoning Office located in Room 2 of City Hall.

The Planning Commission, Public Works Director, and Cabell County Health Department will review the application. If you have any questions, please contact the Planning Department at 304-696-5540 opt. 3 or by email at

## PART ONE: PROPERTY INFORMATION

Street Address of Subject Property (s): 2300 3rd Avenue Huntington, WV 25703

District: 5 Tax Map: 10 Parcel(s): 13

Zoning Classification: I-1 Light Industrial / Commerical

## PART TWO: APPLICANT/OWNER INFORMATION

Name: Huntington Municipal Development Authority

Street Address: 800 Fifth Avenue, Lower Level 34

City: Huntington State: WV Zip Code: 25714

Telephone: 304-696-5540 ext. 2026 Email: burnsc@huntingtonwv.gov

All plats/surveys are to be completed by a Registered Surveyor and shall meet the West Virginia Board of Professional Surveyors Minimum Standards for Boundary Surveys, which include, but are not limited to:

- Map Number and Parcels
- Lot Numbers
- Lot Dimensions
- Parent Tract Identification
- Name of Subdivision
- District or Municipality, County, and State
- Check of Error of Closure and Area
- Monumentation
- Scale, North Arrow, Basis of Bearings
- Adjoining Owners — Deed Reference
- Adjoining Subdivision(s) — Plat Reference
- Name and Width of Adjoining Right-of-Ways
- Owner Name
- Name and Stamp/Seal of Registered Surveyor
- Date of Survey

By signing below, the applicant agrees that they have read and completed the Major Subdivision Application, and to the best of their knowledge the information reflected here and in the Survey and Metes & Bounds Description is correct.

*Cathy Burns*

06/21/2024

Applicant's Signature

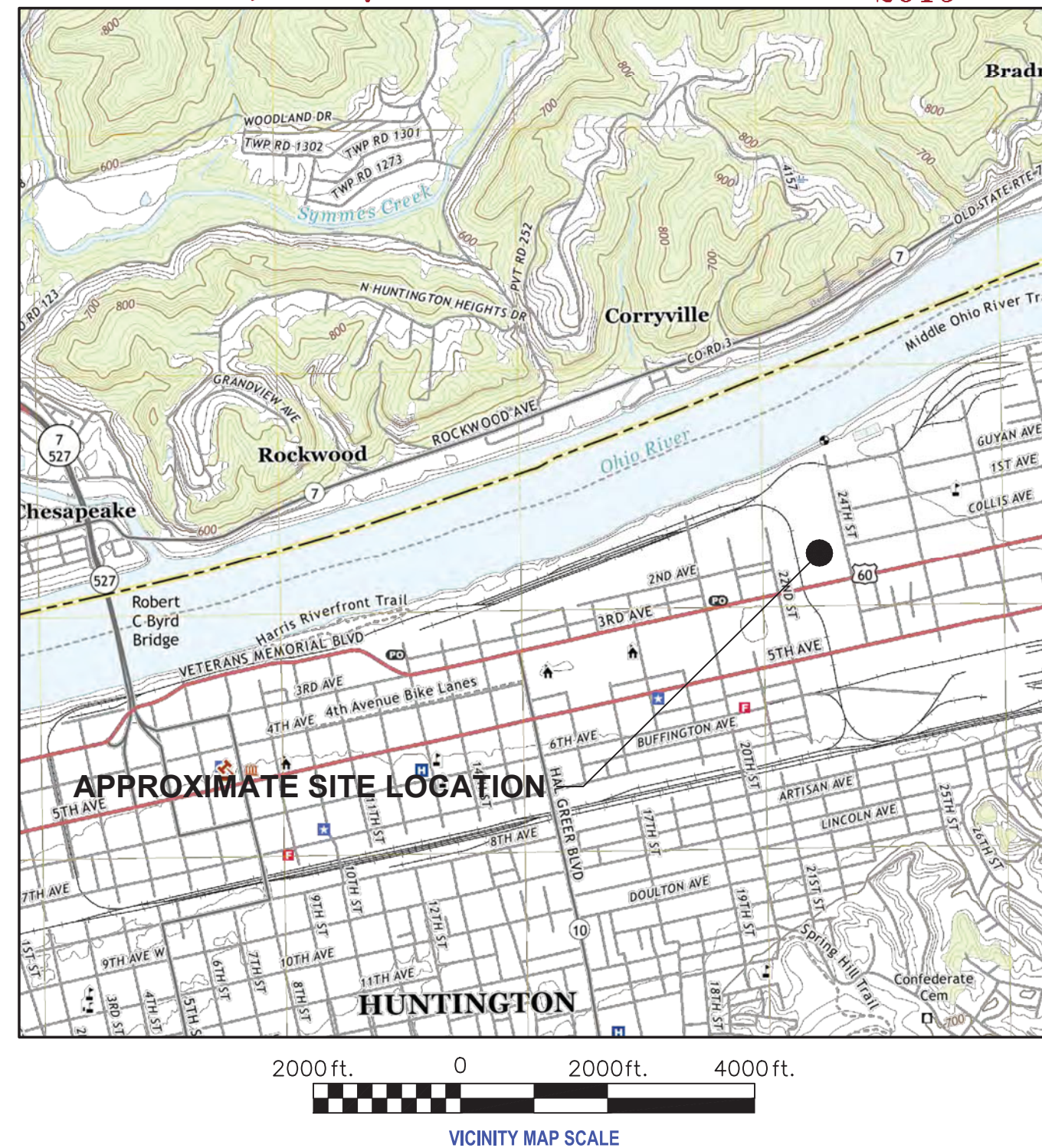
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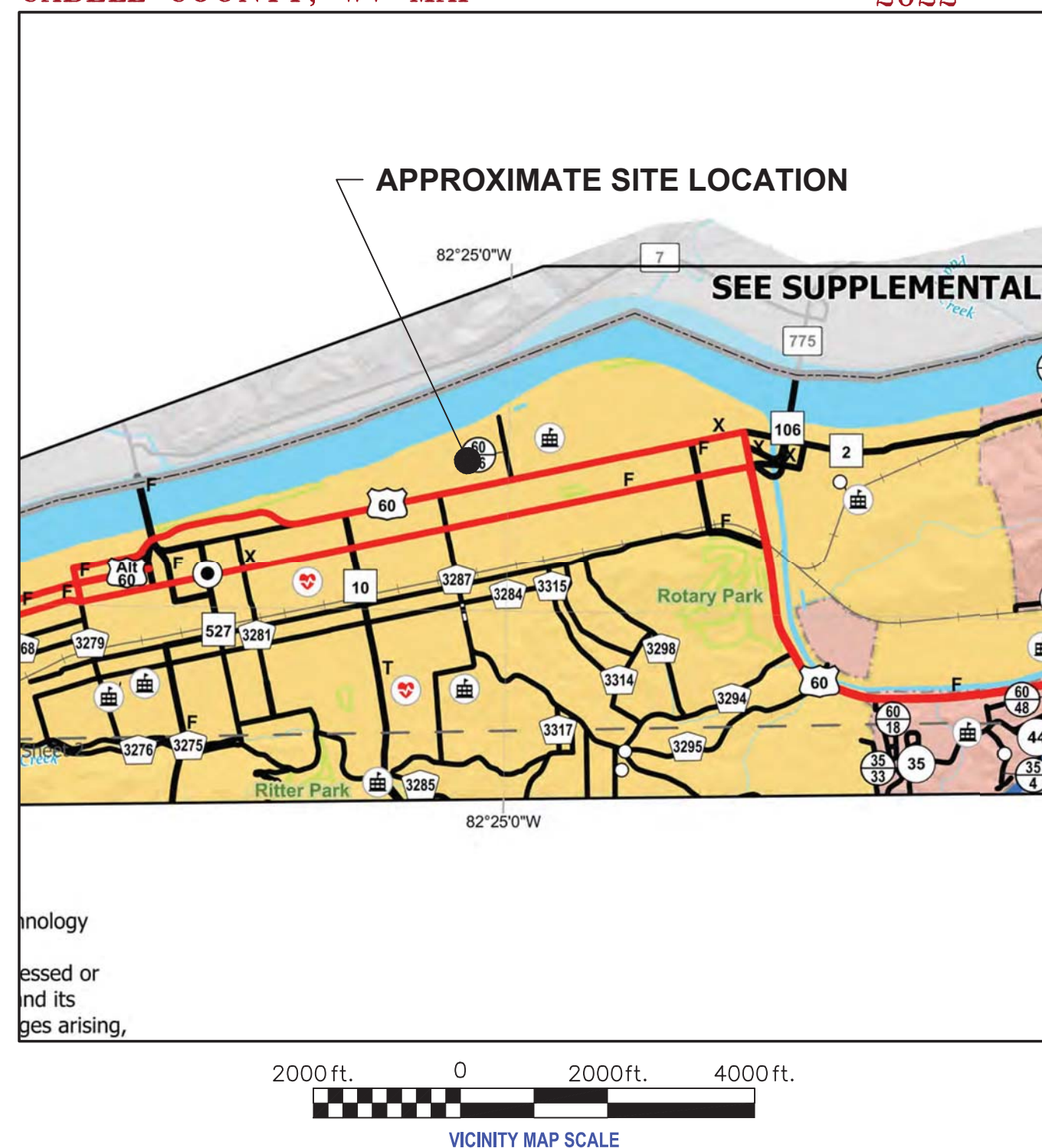
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C1.00	GENERAL NOTES
C1.01	QUANTITIES
C2.00	EXISTING CONDITIONS
C2.01	DEMOLITION
C2.02	OVERALL SITE PLAN
C3.00	GEOMETRIC LAYOUT
C3.01	23RD STREET PLAN AND PROFILE
C3.02	FOUNDRY AVENUE PLAN AND PROFILE
C3.03-C3.04	INTERSECTION DETAILS
C4.00	SITE PLAN
C4.01	EROSION AND SEDIMENT CONTROL
C4.02	GRADING PLAN
C5.00-C5.02	SANITARY SEWER PLAN AND PROFILE
C5.03-5.04	UTILITY PLAN
C6.00-C6.08	DETAILS

# HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONSTRUCTION PLANS FOR THE FOUNDRY CONTRACT #1 SITE AND UTILITIES T60-11055 CABELL COUNTY, WEST VIRGINIA JUNE 2024

HUNTINGTON, WV QUAD MAP 2019



CABELL COUNTY, WV MAP 2022



NOT FOR CONSTRUCTION

CLIENT'S SIGNATURE IF APPLICABLE

EDA PROJECT # 01-79-15297

REVISION NUMBER	REVISED SHEETS	BY	DATE	DESCRIPTION

THIS PLAN SET DEPICTS THE NECESSARY INFORMATION FOR EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED BY THE WVDEP FOR STORM WATER PERMITTING PURPOSES.  
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NICOLE M JONES , WV P.E. # 21372

<input checked="" type="checkbox"/>	ISSUED FOR PERMITS	DATE: _____	BY: _____
<input type="checkbox"/>	ISSUED FOR BID	DATE: _____	BY: _____
<input type="checkbox"/>	ISSUED FOR CONSTRUCTION	DATE: _____	BY: _____

**HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY**

PHONE: (304)-696-5540 ext 2026  
800 FIFTH AVENUE, LOWER LEVEL  
PO BOX 1268  
HUNTINGTON, WV 25714

**CONTACTS**

**CLIENT'S CONTACT**  
HUNTINGTON MUNICIPAL  
DEVELOPMENT AUTHORITY  
ATTN: CATHY BURNS  
(304) 696-5540 ext: 2026

**BRIDGEPORT, WV OFFICE**  
600 WHITE OAKS BLVD.  
BRIDGEPORT, WV 26330  
PO BOX 940  
P (304) 624-4108  
F (304) 624-7831

**ENGINEER**  
THE THRASHER GROUP, INC.  
ATTN: NICOLE JONES  
(304) 423-5991

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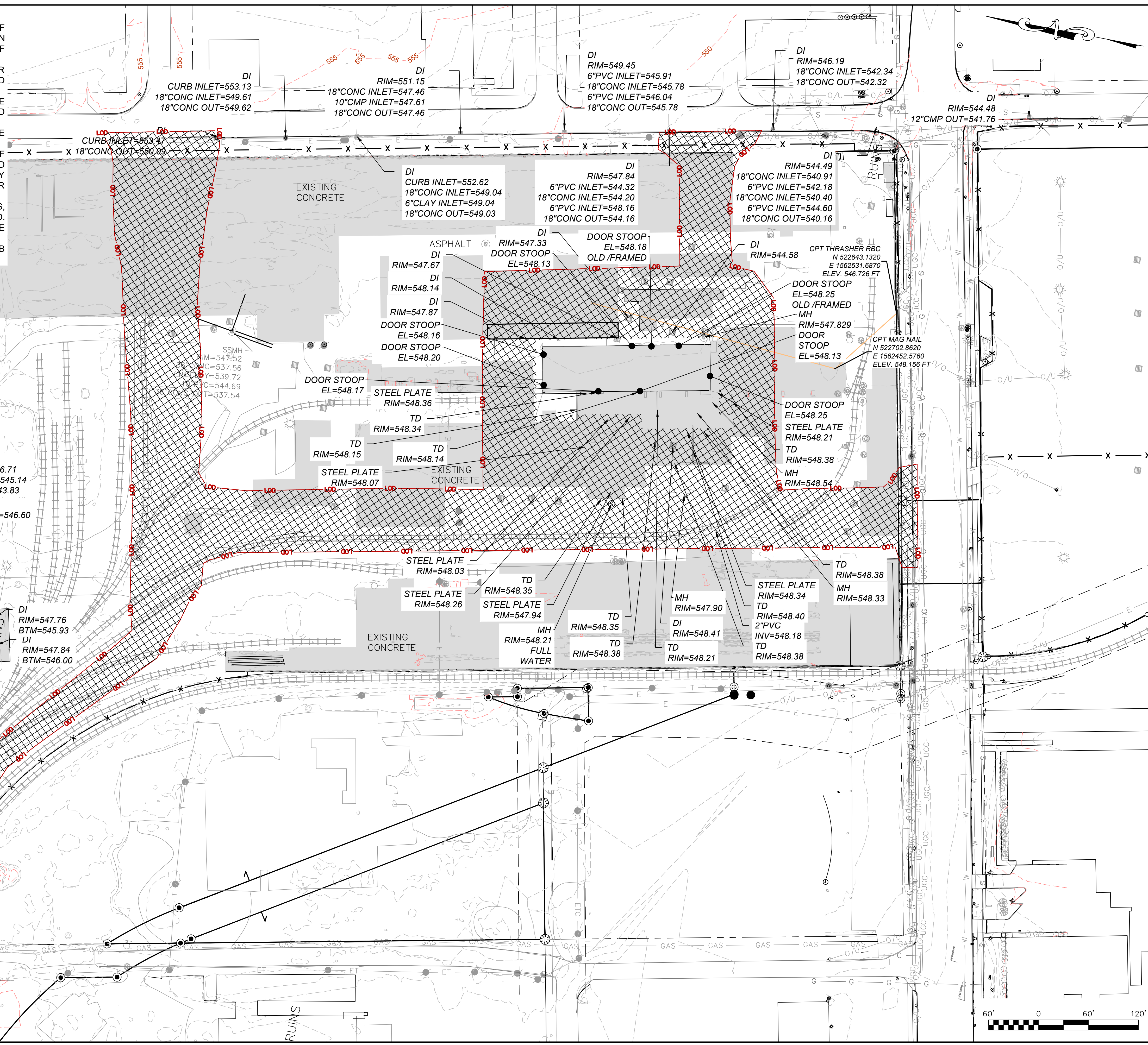






NOTE:

1. THIS PROJECT IS LOCATED AT THE FORMER FACILITY OF THE ACF SITE. OLD BUILDING FLOOR SLABS AND FOUNDATIONS REMAIN THROUGHOUT THE PROJECT LIMITS ALONG WITH A MIXTURE OF ASPHALT PAVING.
2. CONTRACTOR SHOULD ASSUME THE ENTIRE SITE IS EITHER CONCRETE OR ASPHALT SURFACE THAT WILL NEED TO BE REMOVED PRIOR TO EARTHMOVING ACTIVITIES.
3. ALL CONCRETE/ASPHALT REMOVED IS PROPERTY OF THE CONTRACTOR AND SHOULD BE HAULED OFF SITE TO AN APPROVED PERMITTED WASTE SITE.
4. FOR BIDDING PURPOSES CONTRACTOR SHOULD ASSUME CONCRETE IS APPROXIMATELY 9" THICK OVER THE COURSE OF THE SITE.
5. BORING 6 SHOWS TWO SEPARATE CONCRETE SECTIONS. IF SUBGRADE ELEVATIONS DONT REQUIRE REMOVAL OF THE SECOND SECTION OF CONCRETE IT SHALL REMAIN IN PLACE. HOWEVER ANY UTILITIES TO BE LOCATED IN THIS AREA SHOULD ACCOUNT FOR LARGE SLABS OF CONCRETE THAT WILL NEED TO BE REMOVED.
6. ALL TRENCH DRAINS, MANHOLES, DRAINAGE INLETS, STEEL PLATES, RAILROAD TIES, ETC WITHIN THE PROJECT LIMITS MUST BE REMOVED. IF UTILITIES ARE AT AN ELEVATION BELOW SUBGRADE THEY CAN BE CAPPED AND ABANDONED IN PLACE.
7. LIMITS OF DEMO FOR CONTRACT #1 IS TO THE BACK OF THE CURB AROUND THE BUILDING.



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**NOT FOR CONSTRUCTION**

NO.	BY	DATE	DESCRIPTION

**THE FOUNDRY HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

DRAWN: DATE:  
 CHECKED: DATE:  
 APPROVED: DATE:

PROJECT No. T60-11055

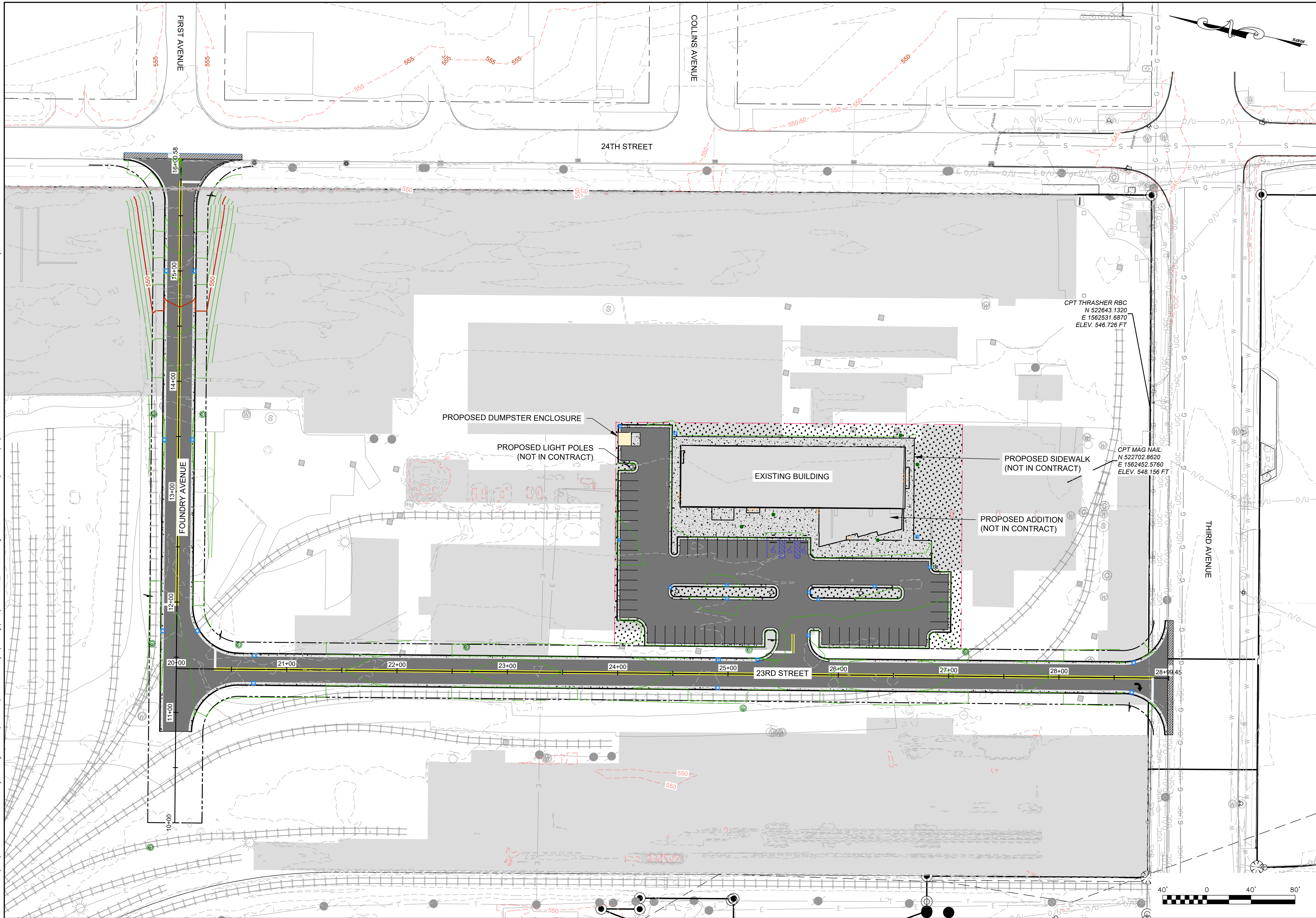
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SHEET No. C2.01

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 USER: nicole.jones



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 LAYOUT: Overall  
 USER: nicole\_jones



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NO.	BY	DATE	DESCRIPTION

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 CABELL COUNTY, WV

DRAWN: DATE:  
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 APPROVED: DATE:  
 PROJECT No. T60-11055  
 OVERALL SITE PLAN  
 SHEET No.

C2.02

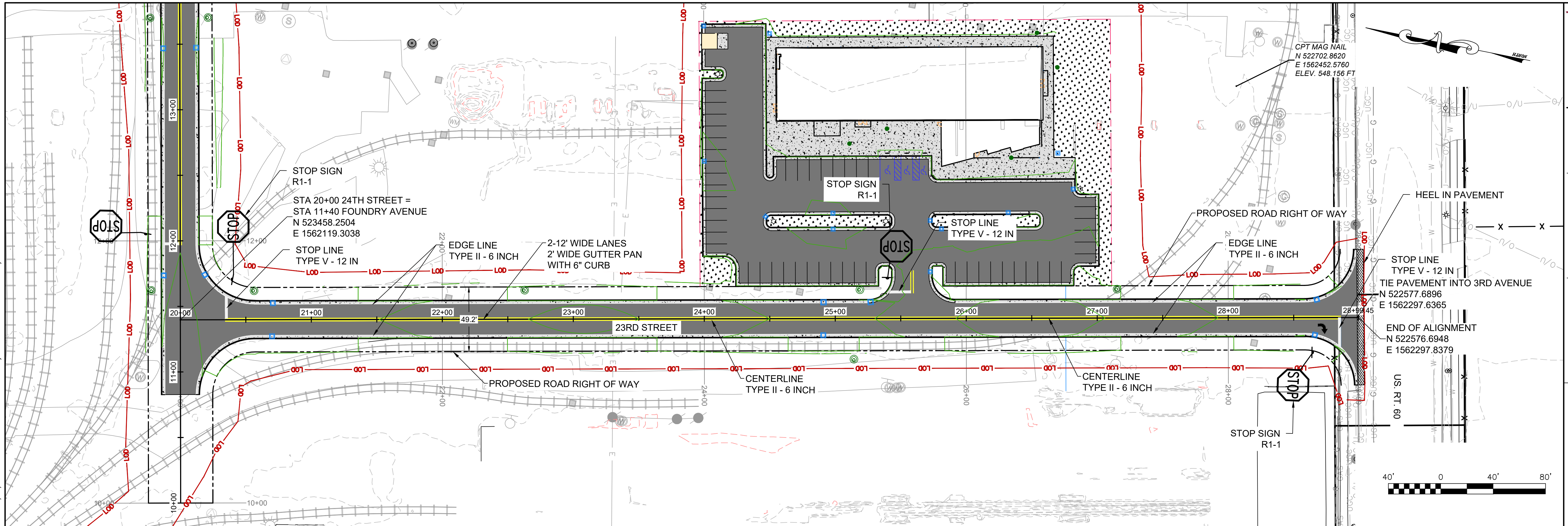




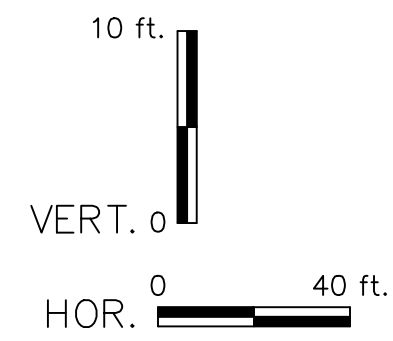
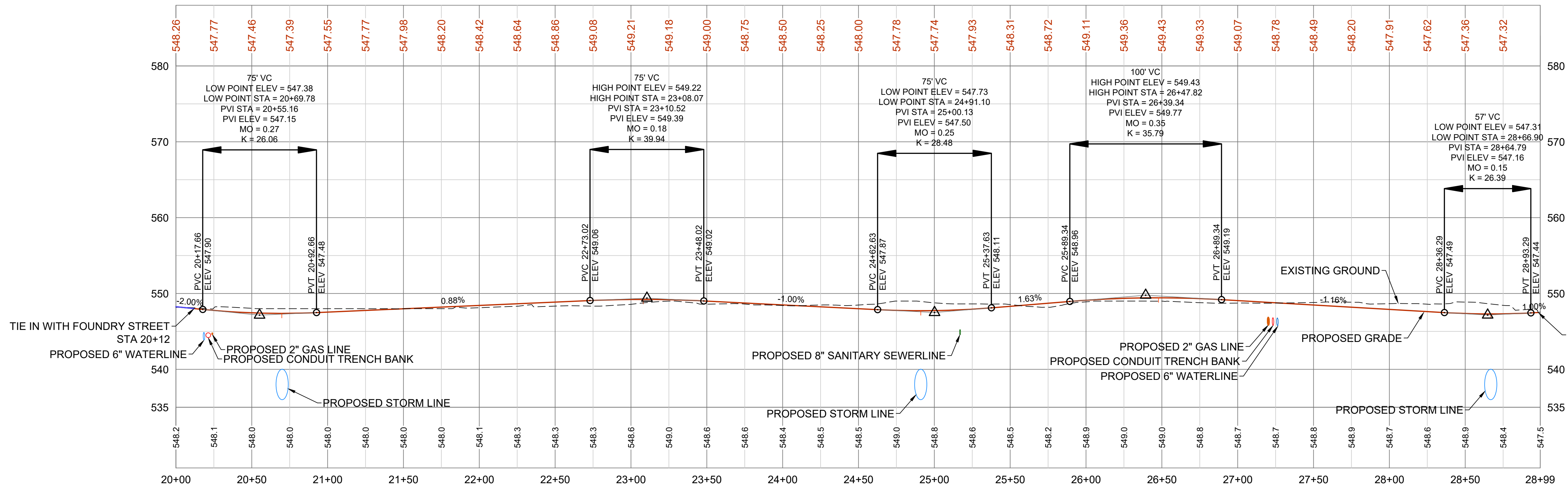


**NOT FOR CONSTRUCTION**

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**23rd STREET PROFILE**



**THE FOUNDRY  
 HUNTINGTON MUNICIPAL  
 DEVELOPMENT AUTHORITY  
 CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

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 APPROVED: DATE:  
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 23RD STREET  
 PLAN AND PROFILE  
 SHEET No.

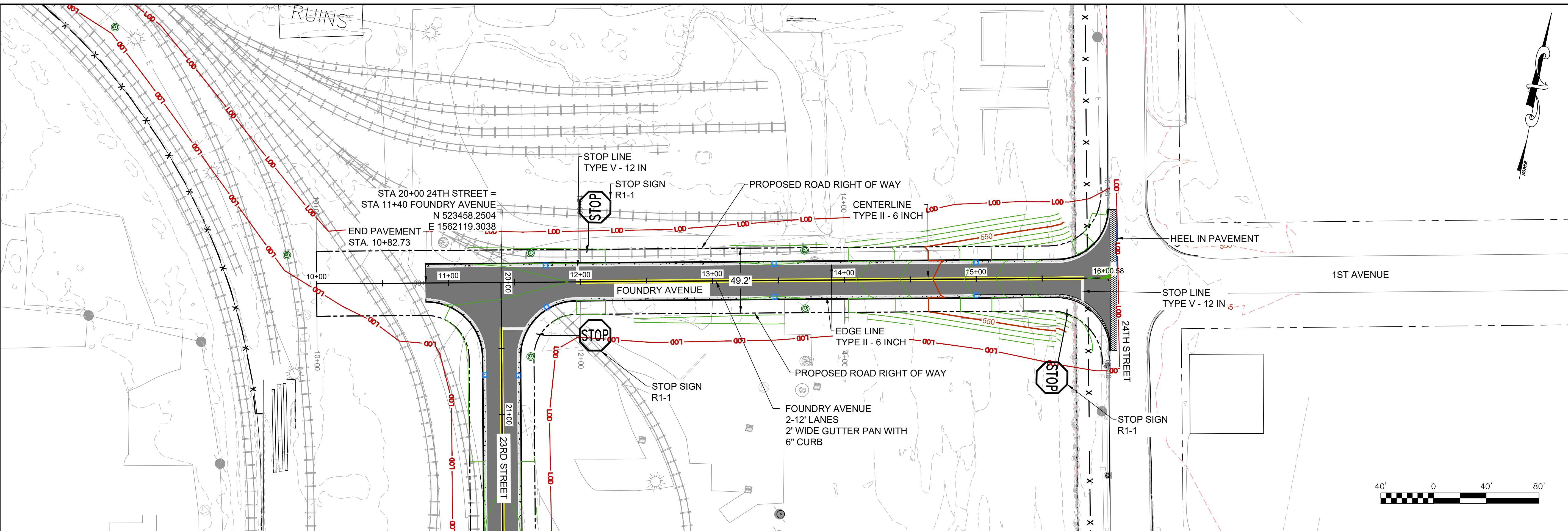
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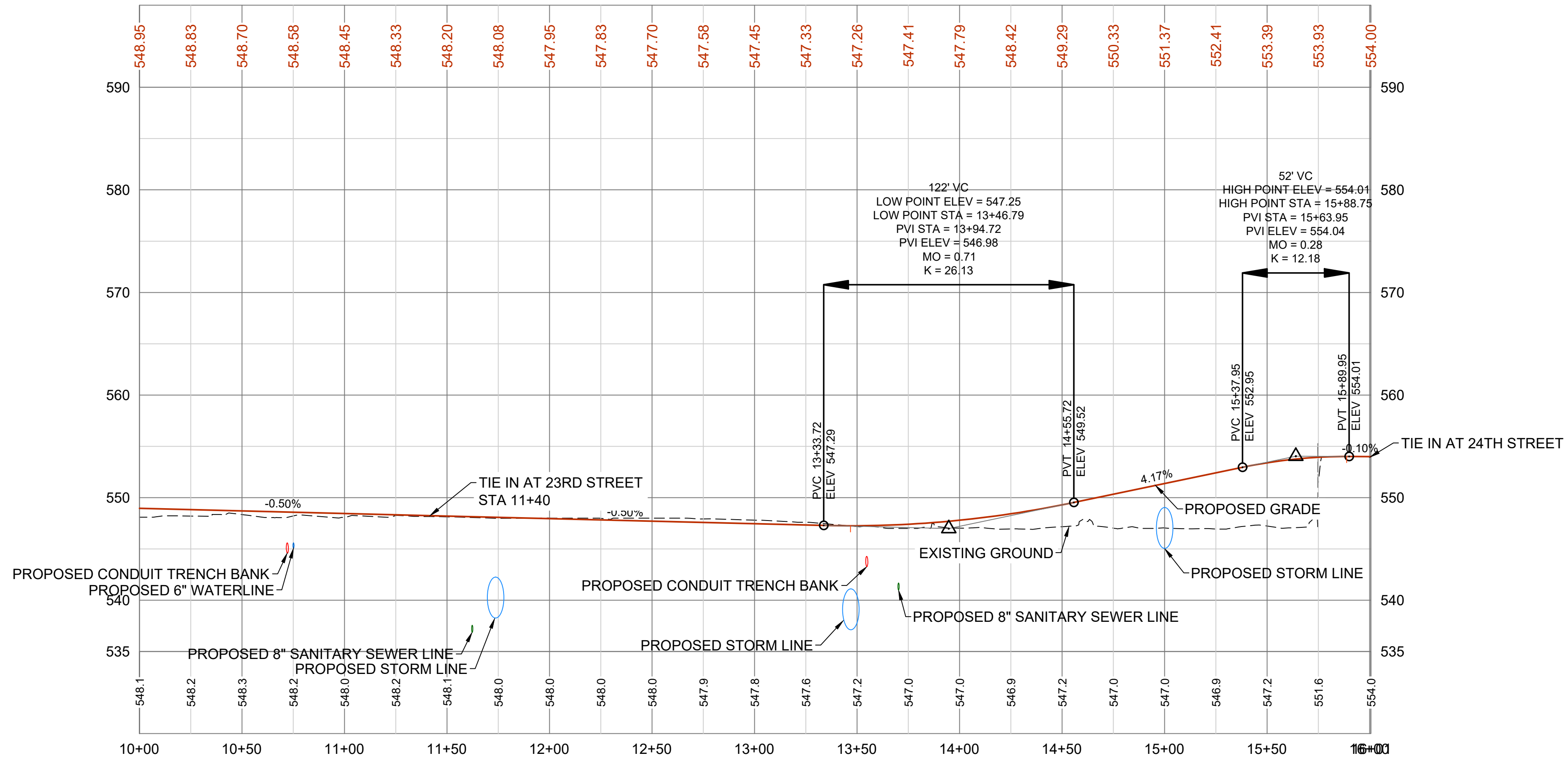
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 USER: nicole jones

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**FOUNDRY AVENUE PROFILE**



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**THE FOUNDRY HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV  
 DRAWN: DATE:  
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 PROJECT No. T60-11055  
 FOUNDRY STREET PLAN AND PROFILE  
 SHEET No.

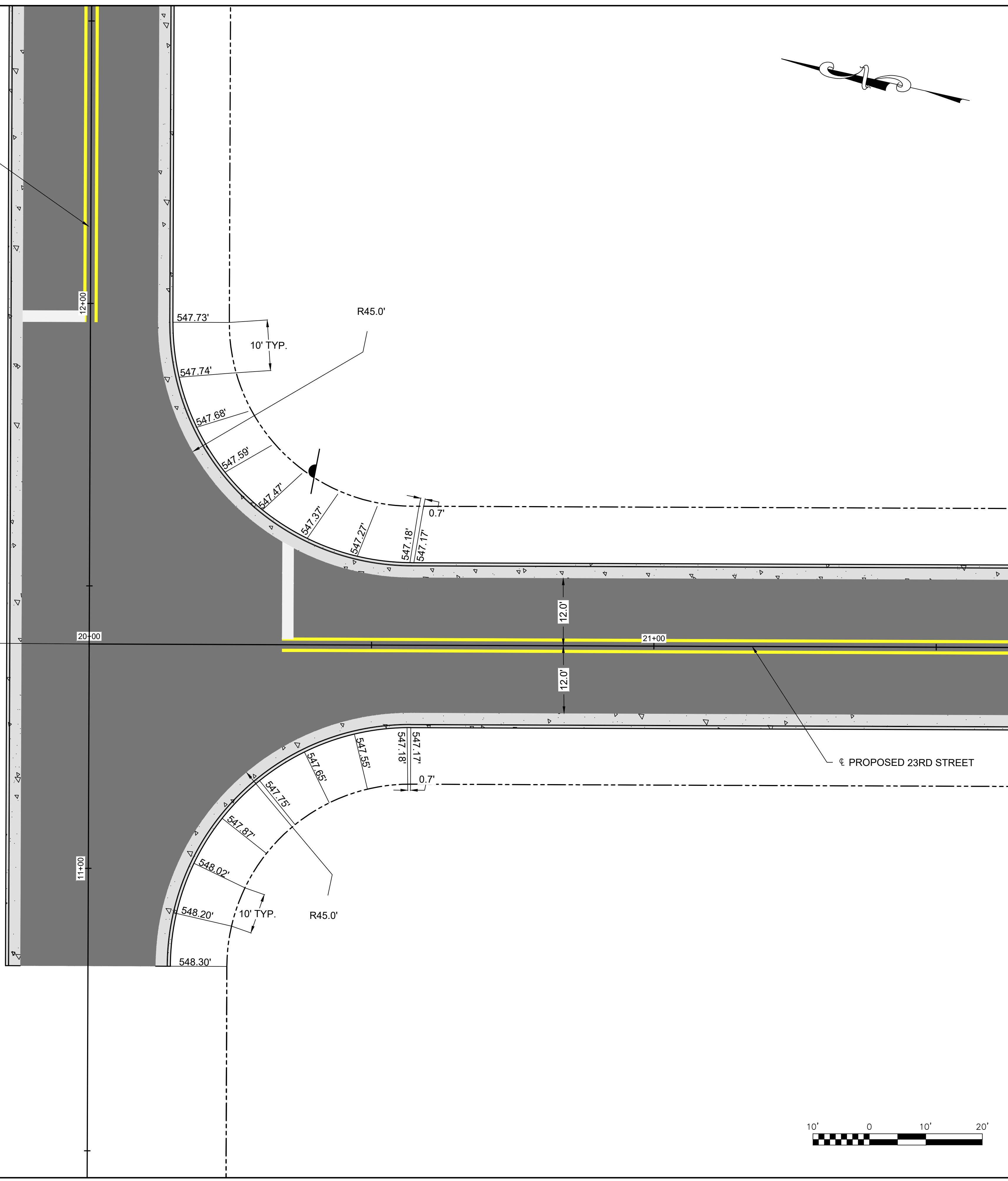


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PROPOSED FOUNDRY AVENUE

STA 20+00 24TH STREET =  
 STA 11+40 FOUNDRY AVENUE  
 N 523458.2504  
 E 1562119.3038

PROPOSED 23RD STREET



**THRASHER**  
 THE THRASHER GROUP, INC.  
 600 WHITE OAKS BLVD,  
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NO.	BY	DATE	DESCRIPTION

**THE FOUNDRY  
 HUNTINGTON MUNICIPAL  
 DEVELOPMENT AUTHORITY  
 CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

DRAWN: DATE:  
 CHECKED: DATE:  
 APPROVED: DATE:  
 PROJECT No. T60-11055

INTERSECTION DETAILS  
 SHEET No. C3.03

**NOT FOR  
 CONSTRUCTION**

CAD FILE: R:\060\T60-11055.00-The Foundry-Huntington Municipal Development Authority\Drawing\Civil\T60-11055-Intersection Detail.dwg PLOT DATE/TIME: 6/16/2024 7:22 PM LAYOUT: Layout2 USER: nicole.jones

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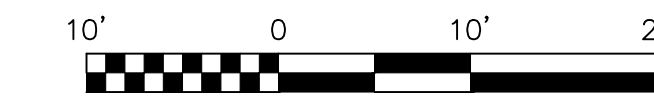
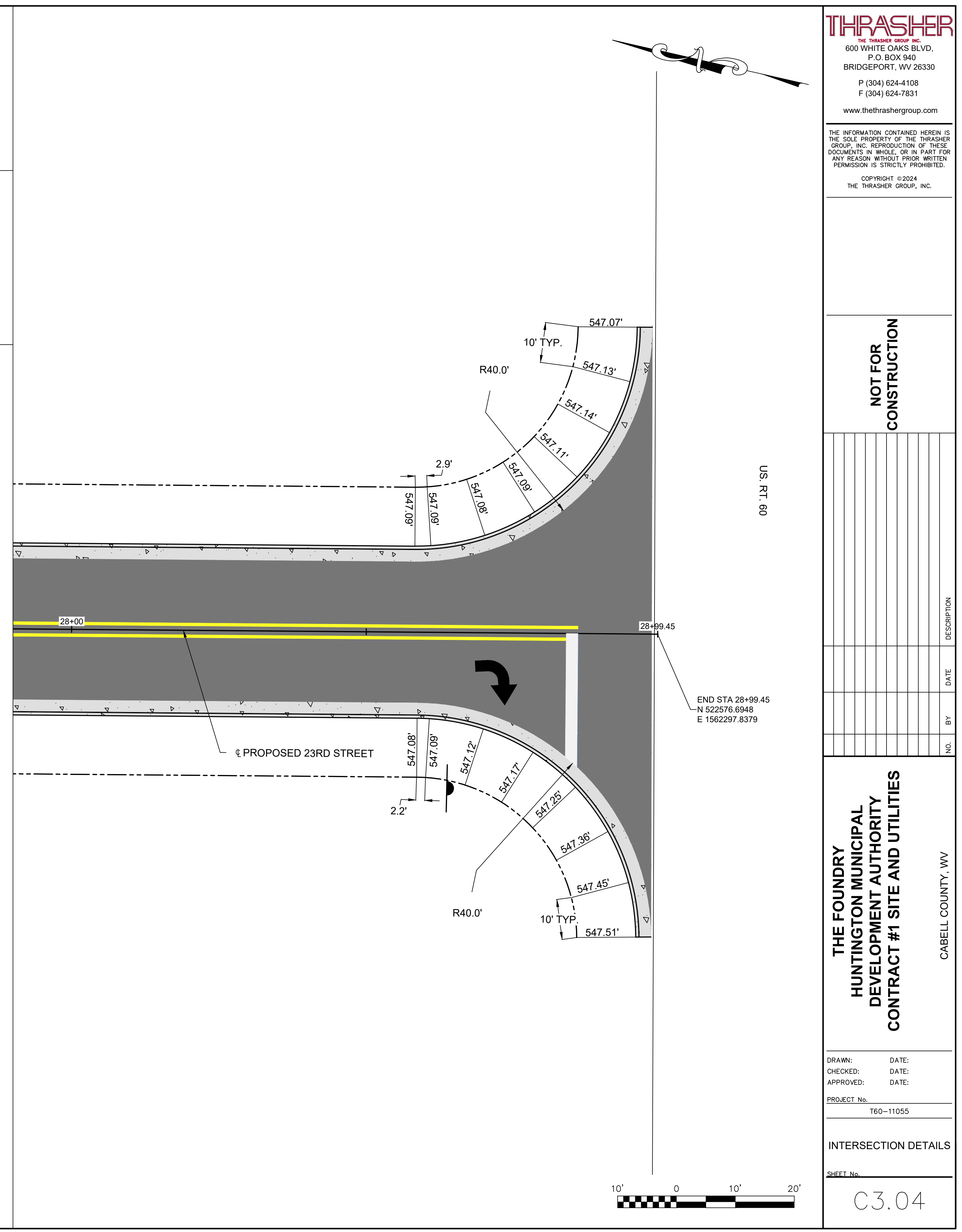
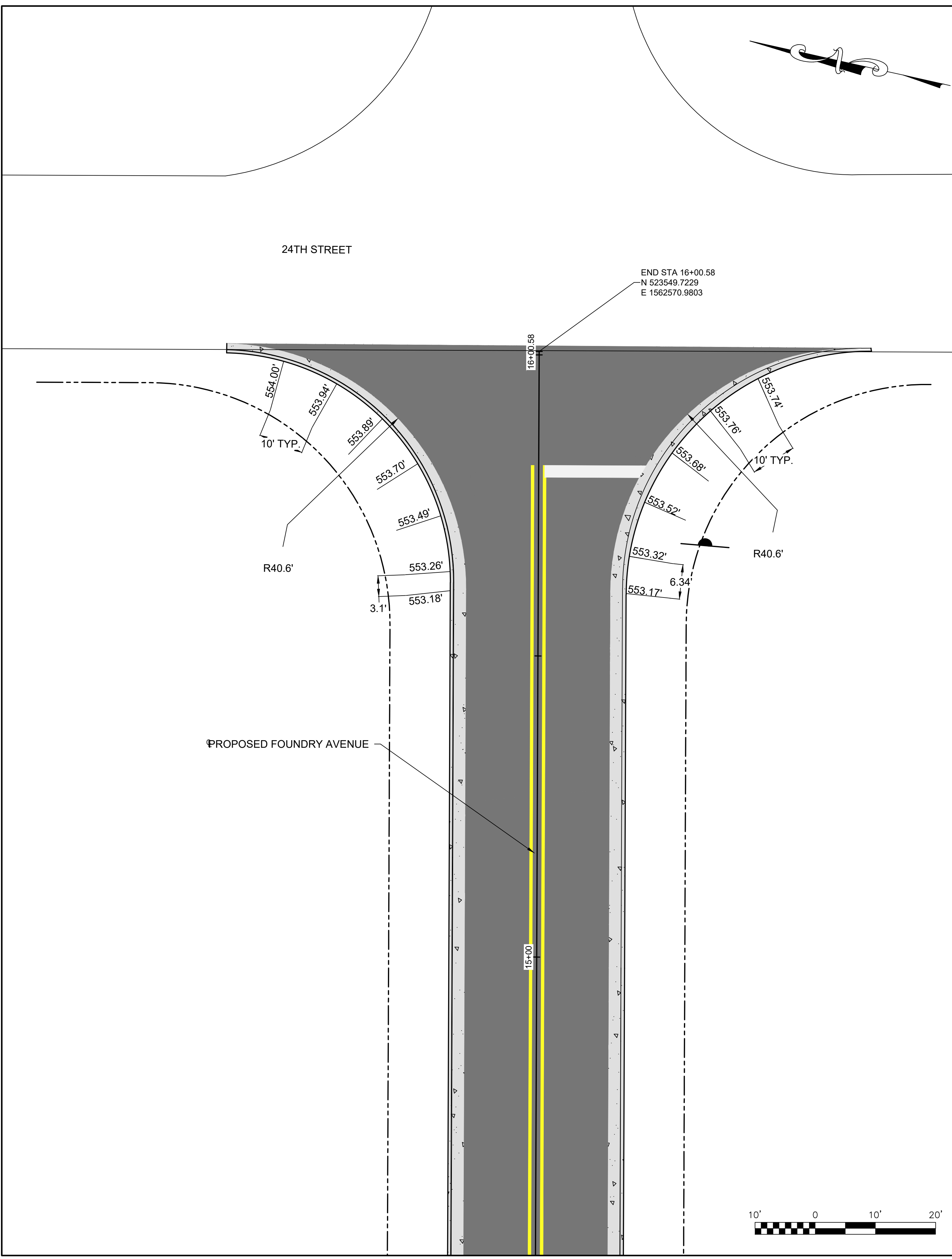
NO.	BY	DATE	DESCRIPTION

**THE FOUNDRY HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONTRACT #1 SITE AND UTILITIES**  
 CABELL COUNTY, WV

DRAWN: DATE:  
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 APPROVED: DATE:  
 PROJECT No. T60-11055

INTERSECTION DETAILS

SHEET No. C3.04





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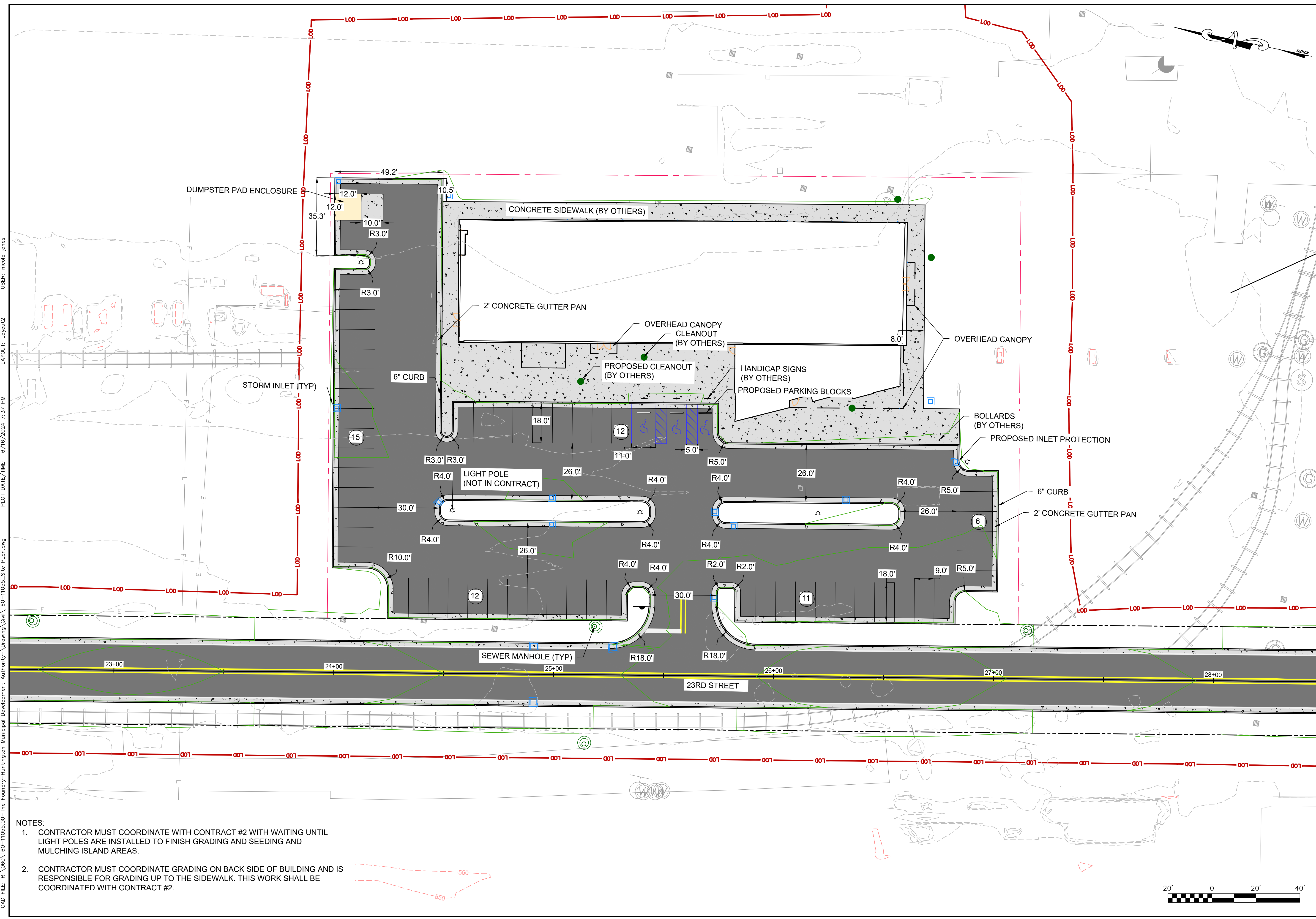
**THE FOUNDRY HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

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PROJECT No.	T60-11055

SITE PLAN  
 SHEET No.

C4.00

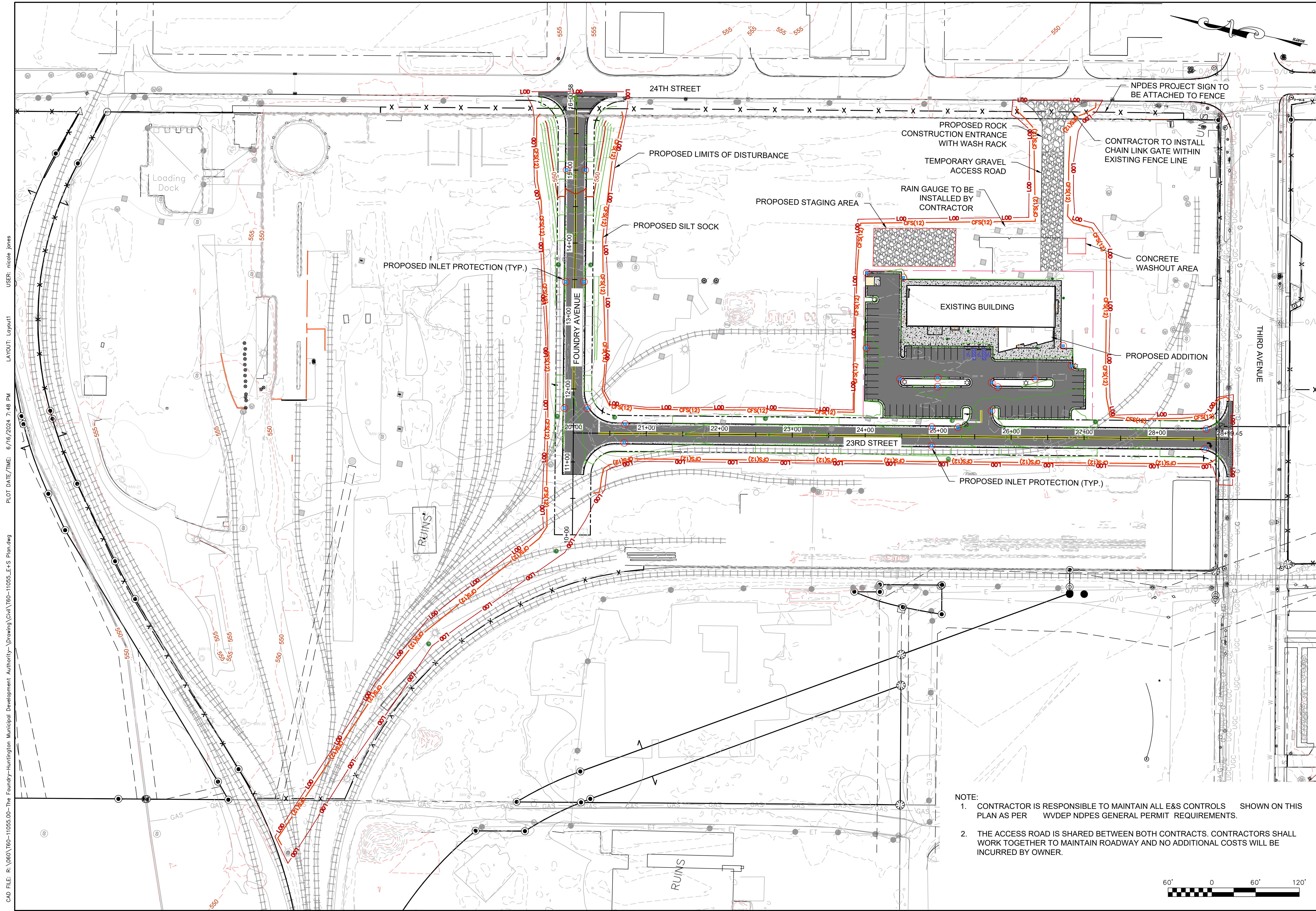


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 PLOT DATE/TIME: 6/16/2024 7:37 PM  
 LAYOUT: Layout2  
 USER: nicole.jones

- NOTES:**
- CONTRACTOR MUST COORDINATE WITH CONTRACT #2 WITH WAITING UNTIL LIGHT POLES ARE INSTALLED TO FINISH GRADING AND SEEDING AND MULCHING ISLAND AREAS.
  - CONTRACTOR MUST COORDINATE GRADING ON BACK SIDE OF BUILDING AND IS RESPONSIBLE FOR GRADING UP TO THE SIDEWALK. THIS WORK SHALL BE COORDINATED WITH CONTRACT #2.







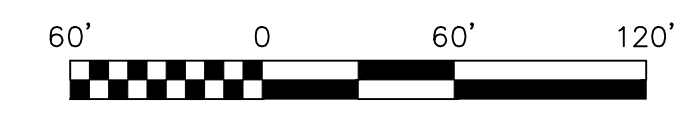
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NO.	DATE	BY	DESCRIPTION

**THE FOUNDRY HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONTRACT #1 SITE AND UTILITIES**  
 CABELL COUNTY, WV

DRAWN:	DATE:
CHECKED:	DATE:
APPROVED:	DATE:
PROJECT No.	T60-11055
EROSION AND SEDIMENT CONTROL	
SHEET No.	C4.01

- NOTE:
1. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL E&S CONTROLS SHOWN ON THIS PLAN AS PER WVDEP NDPES GENERAL PERMIT REQUIREMENTS.
  2. THE ACCESS ROAD IS SHARED BETWEEN BOTH CONTRACTS. CONTRACTORS SHALL WORK TOGETHER TO MAINTAIN ROADWAY AND NO ADDITIONAL COSTS WILL BE INCURRED BY OWNER.



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 LAYOUT: Layout1  
 USER: nicole.jones







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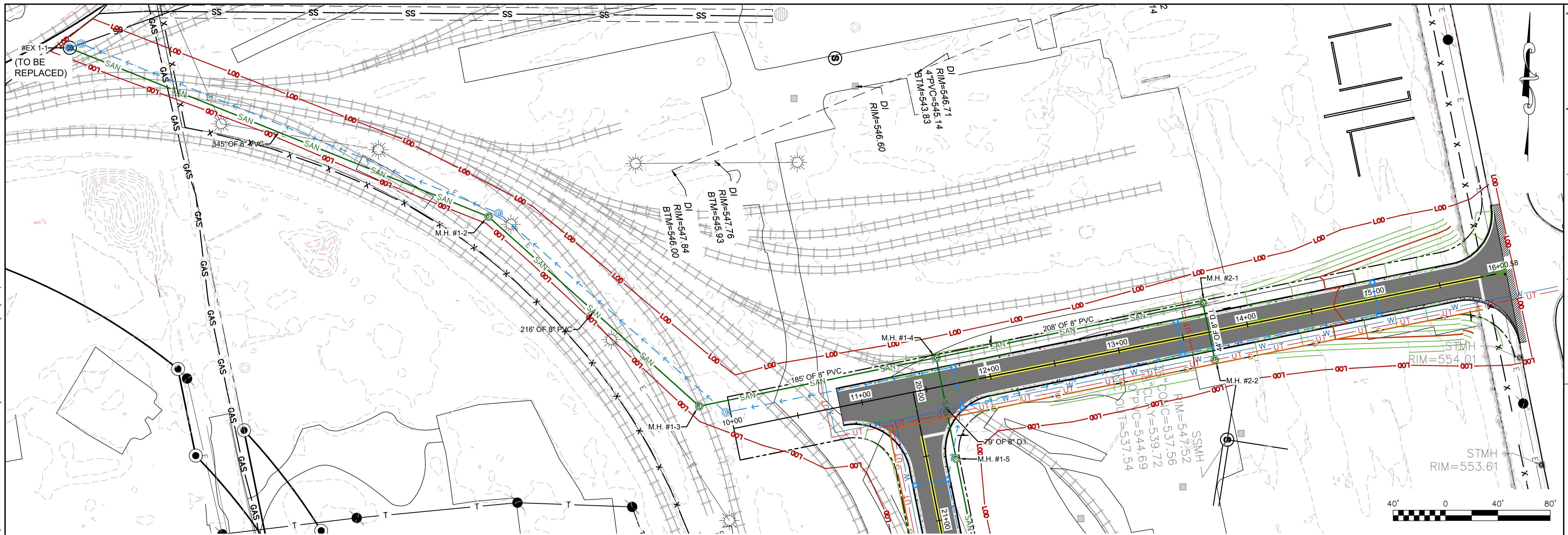
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**THE FOUNDRY  
 HUNTINGTON MUNICIPAL  
 DEVELOPMENT AUTHORITY  
 CONTRACT #1 SITE AND UTILITIES**

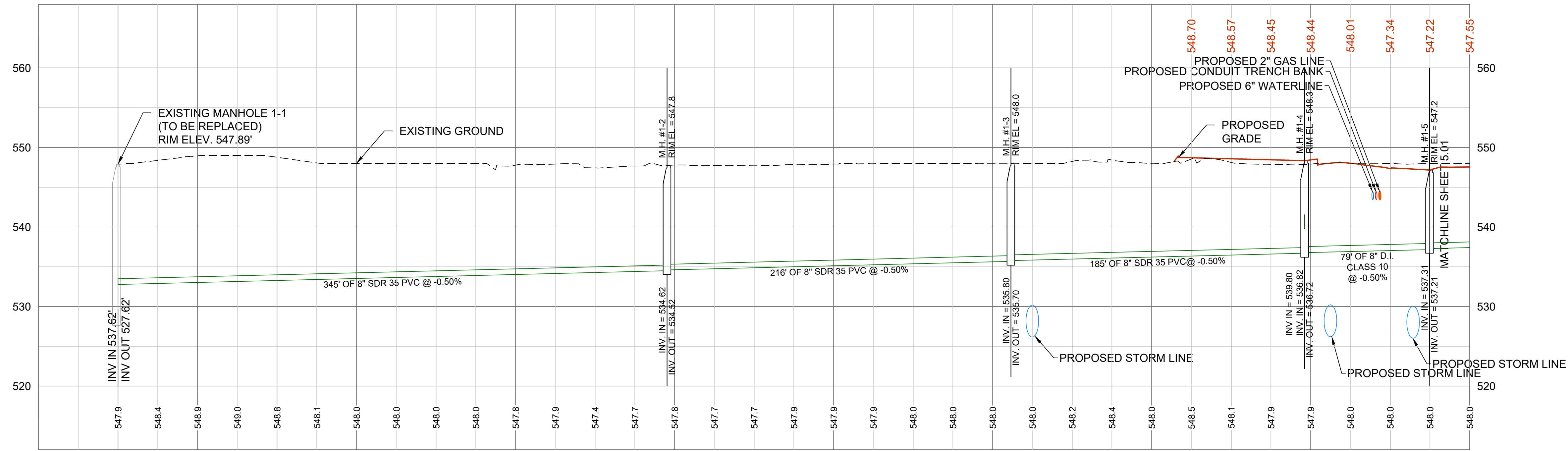
CABELL COUNTY, WV

DRAWN: DATE:  
 CHECKED: DATE:  
 APPROVED: DATE:  
 PROJECT No. T60-11055  
 SANITARY SEWER PLAN AND PROFILE  
 SHEET No.

**C5.00**



SEWER MH 1-1 TO 1-8

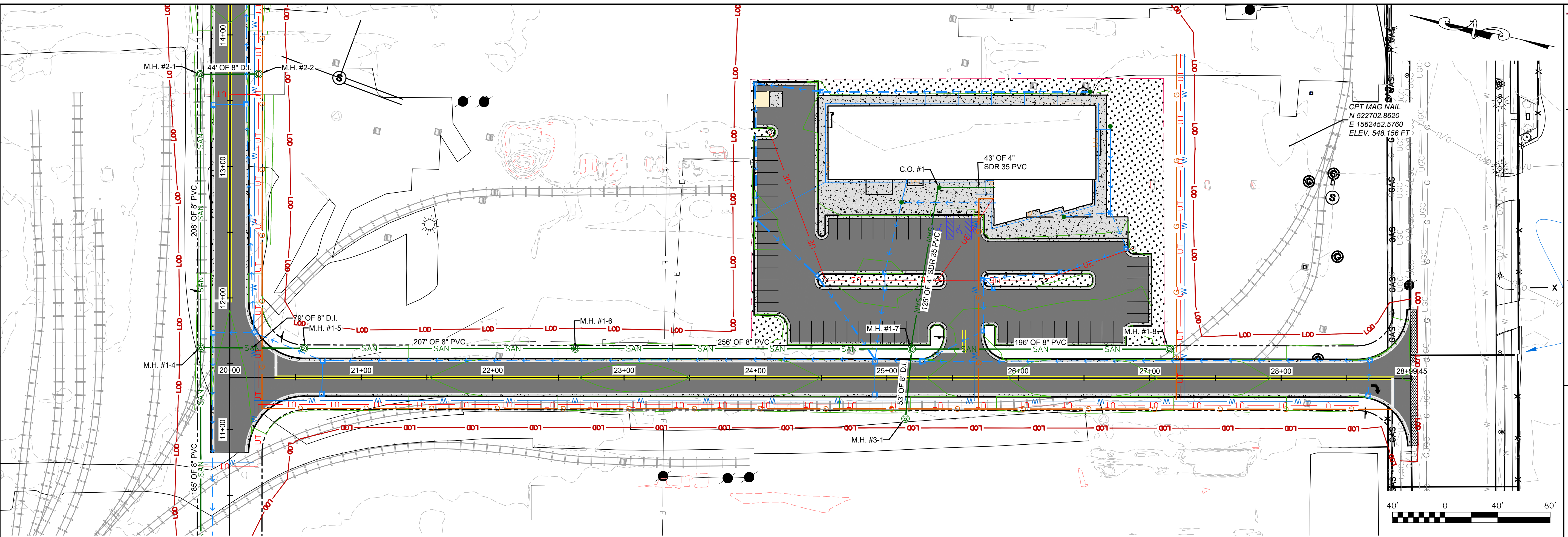


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 LAYOUT: Layout1.1  
 USER: wyl.j.drafer



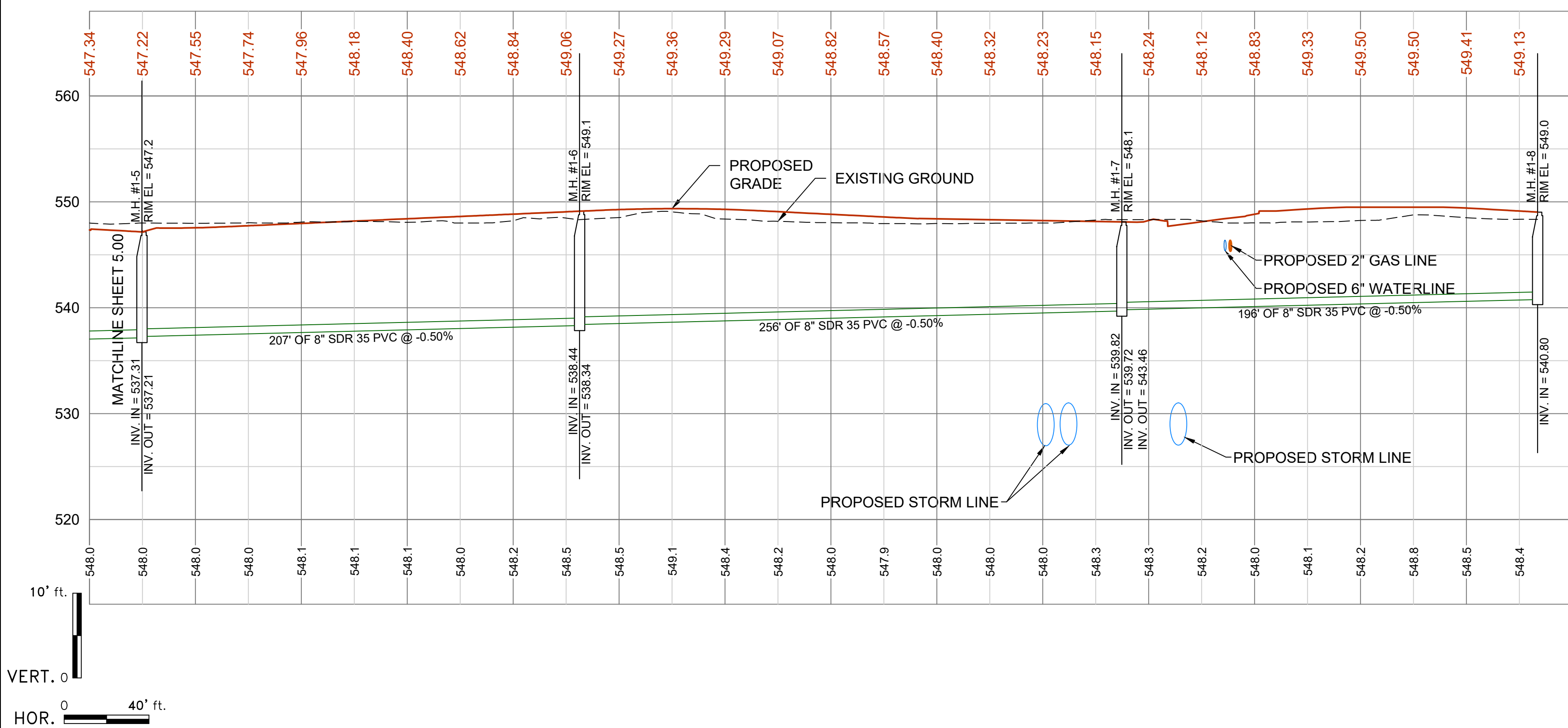
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 LAYOUT: Layout1.2  
 USER: wst.j. droper

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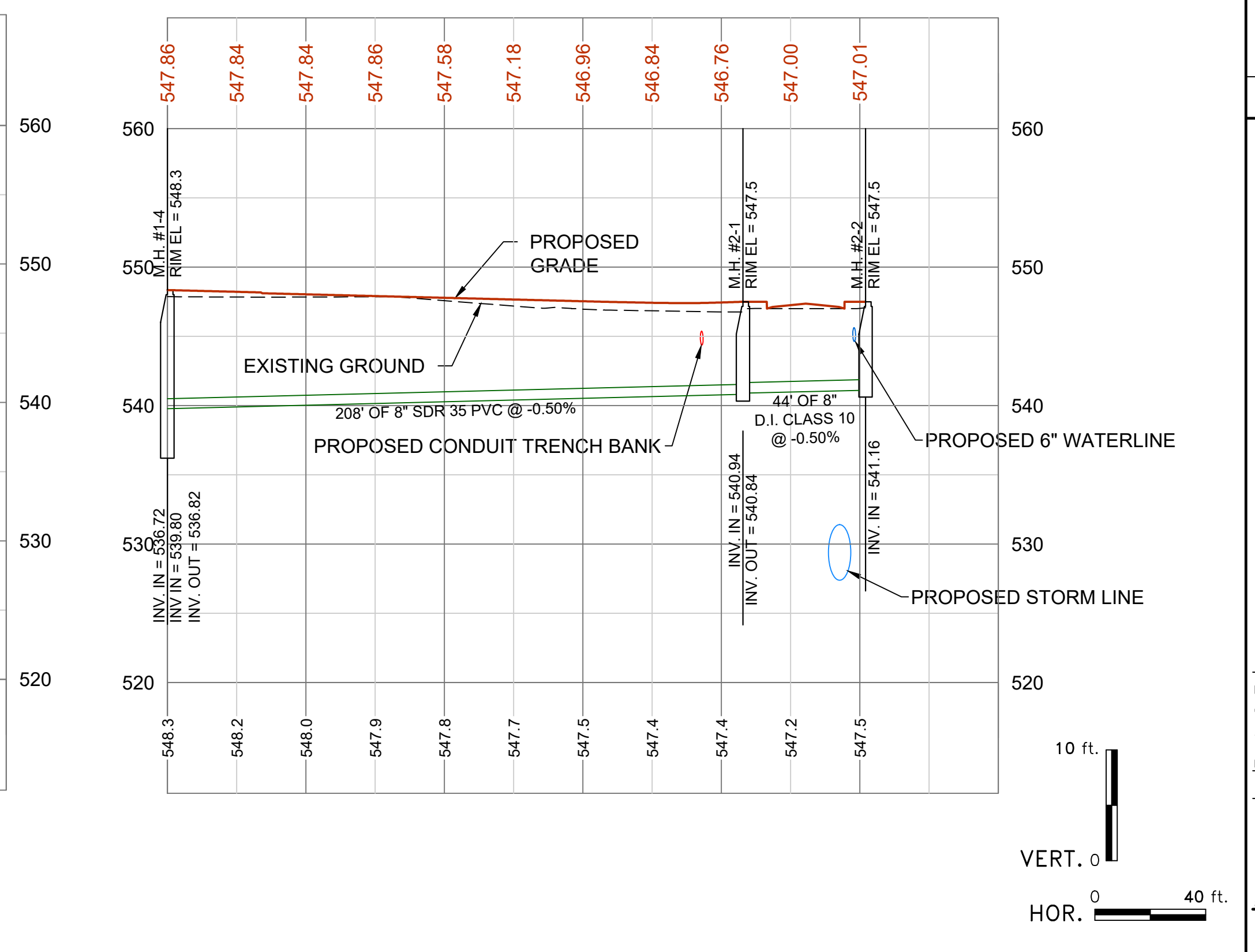


**NOT FOR  
 CONSTRUCTION**

**SEWER MH 1-1 TO 1-8**



**SEWER MH 1-4 TO 2-2**















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 PLOT DATE/TIME: 6/17/2024 9:42 AM  
 LAYOUT: 06.00-DETAILS  
 USER: wye.j. draper

**NOTES:**

1. INSPECT COMPOST FILTER SOCK(S) AT LEAST ONCE A WEEK AND AFTER EACH RAIN EVENT GREATER THAN 0.5 INCHES.
2. REPAIR OR REPLACE SPLIT, TORN, RAVELING, OR SLUMPING COMPOST FILTER SOCKS.
3. REMOVE SEDIMENT ACCUMULATIONS WHEN EXCEEDING 1/2 THE HEIGHT BETWEEN THE TOP OF THE COMPOST FILTER SOCK AND THE GROUND SURFACE.
4. REPAIR ANY RILLS OR GULLIES PROMPTLY.
5. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

COMPOST SHALL MEET THE FOLLOWING STANDARDS:

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS MAXIMUM

COMPOST FILTER SOCK TO BE INSTALLED IN ACCORDANCE WITH FILTREXX MANUFACTURER SPECIFICATIONS, OR AN APPROVED EQUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8' UP SLOPE AT 45° TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY DIAMETER SOCK SHALL NOT EXCEED THAT SHOWN ON BELOW TABLE.

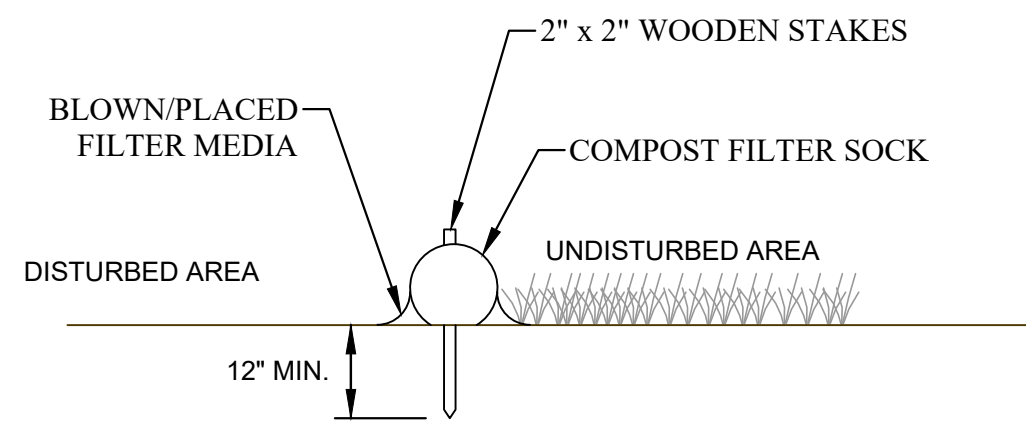
TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

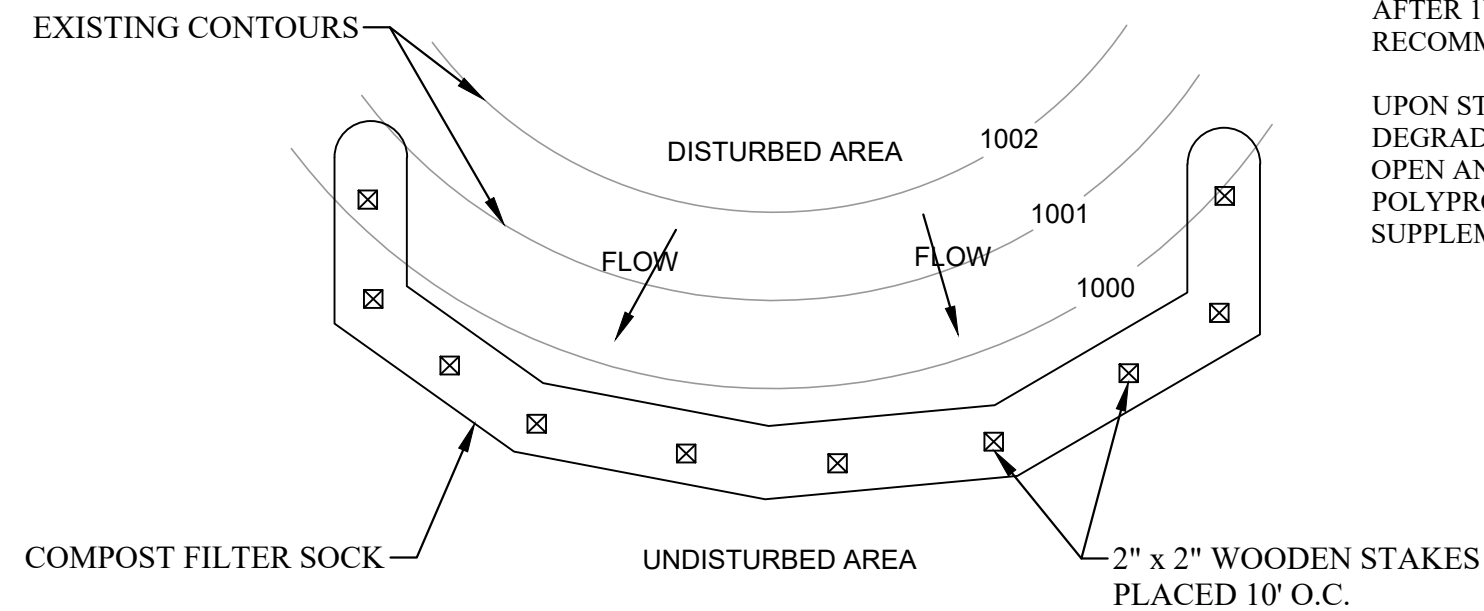
SOCKS SHALL BE INSPECTED AS DESCRIBED IN THE MAINTENANCE AND INSPECTION NOTES IN THE EROSION AND SEDIMENT CONTROL NOTES OF THESE PLANS. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1YR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

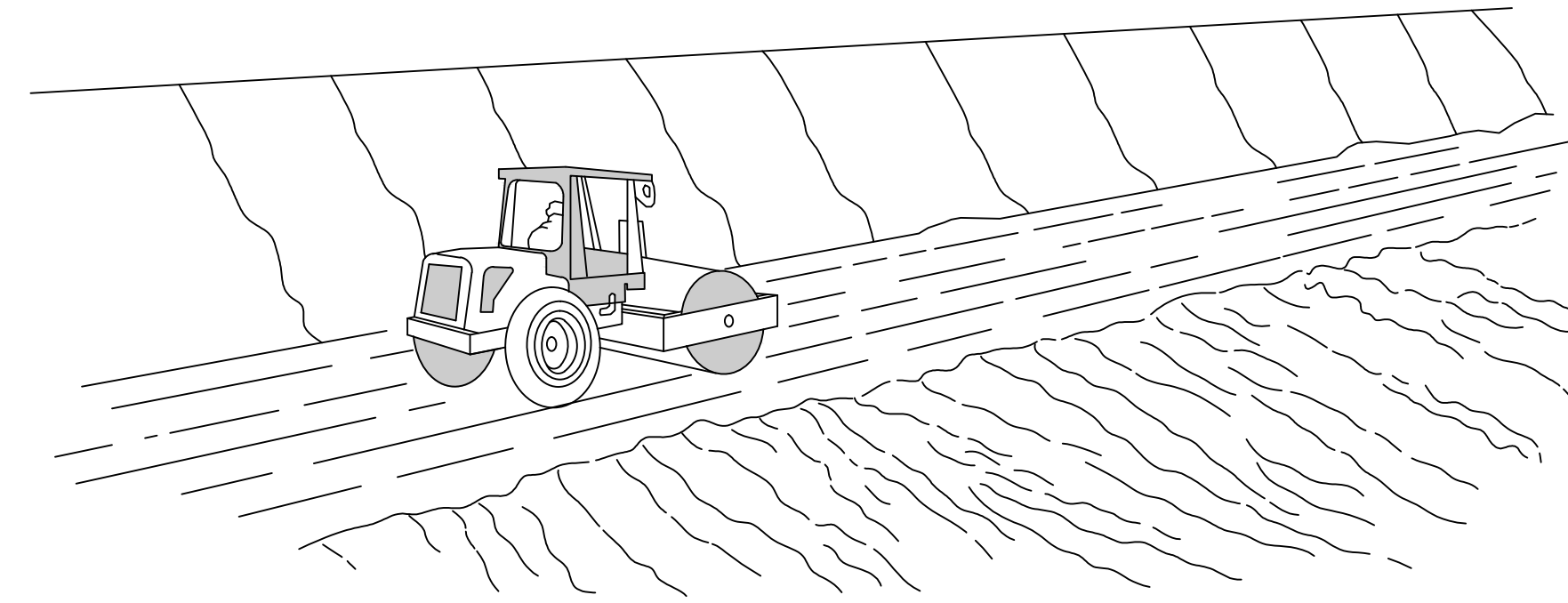
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, ALL STAKES SHALL BE REMOVED. DEGRADABLE FILTER SOCK MAY BE LEFT IN PLACE AND VEGETATED - THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT PRIOR TO SEEDING. THE MESH FROM ALL POLYPROPYLENE FILTER SOCKS SHALL BE REMOVED - THE MULCH SHALL BE SPREAD AS A SOIL SUPPLEMENT PRIOR TO SEEDING.



**SECTION VIEW**

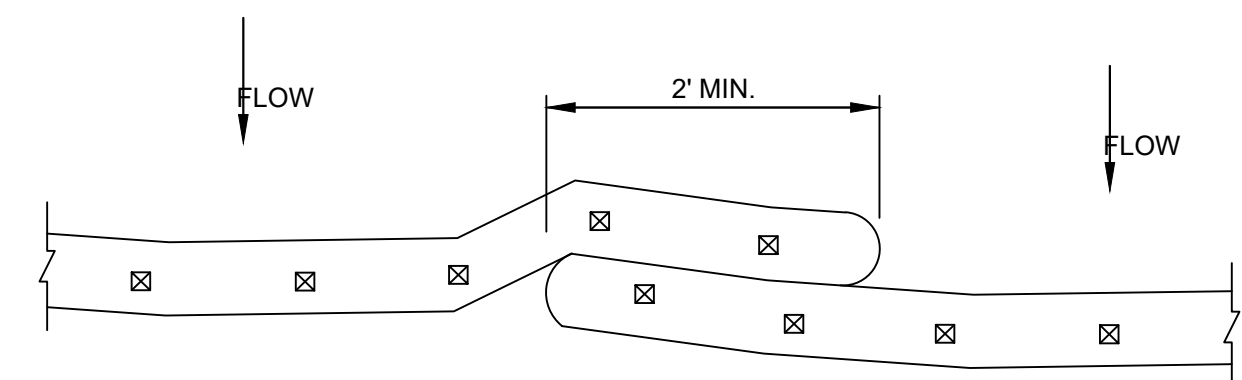
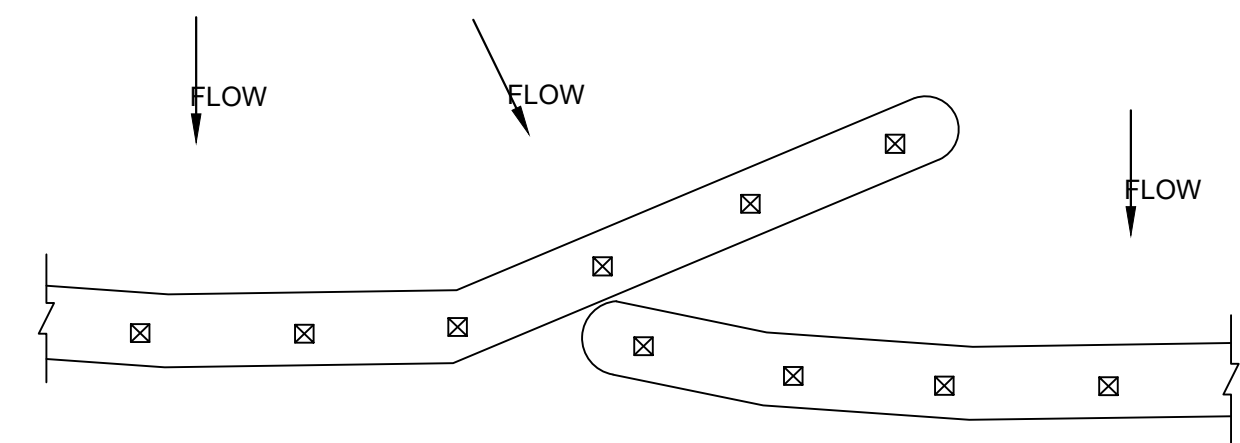


**PLAN VIEW**

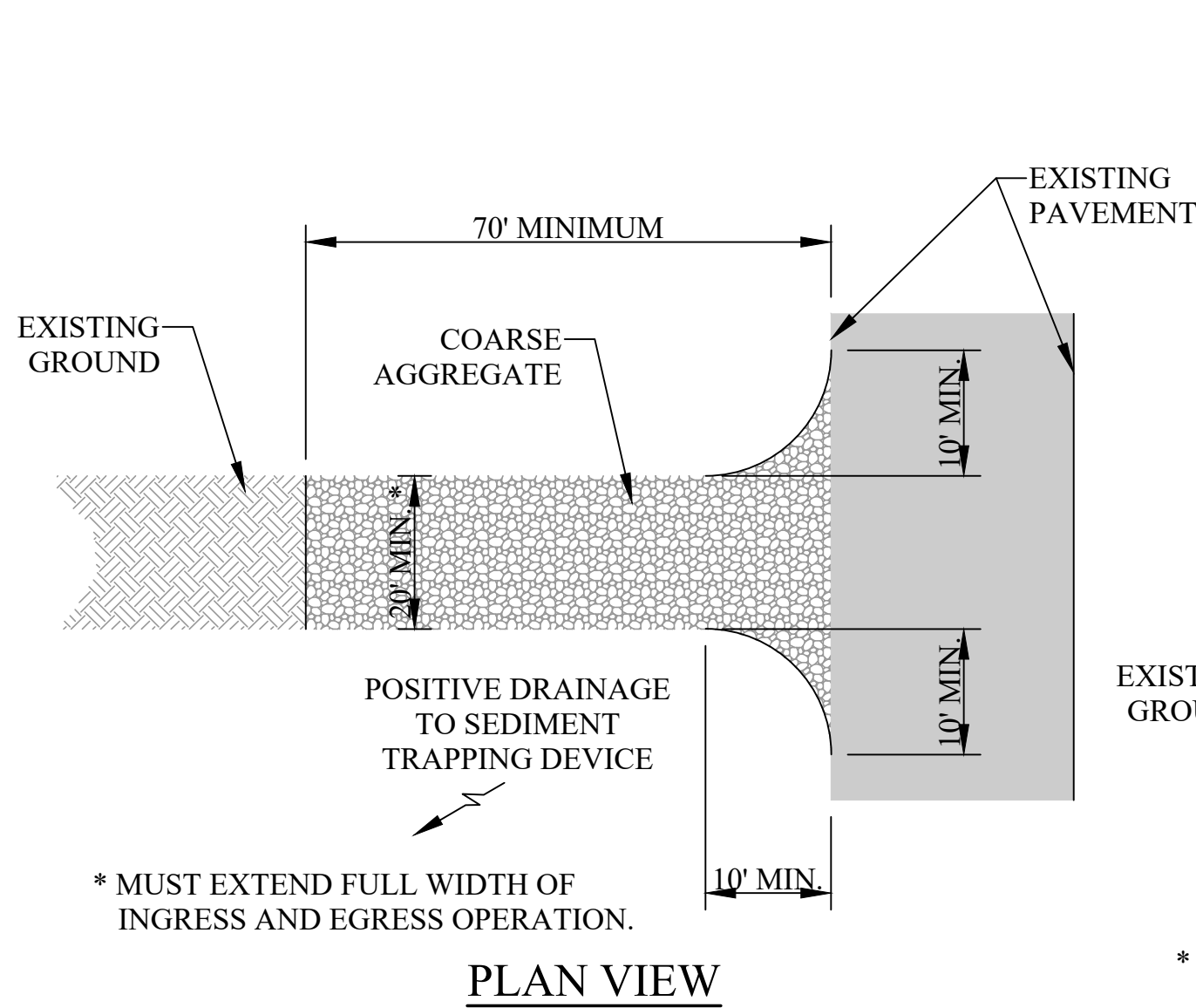


EACH LIFT OF THE FILL IS COMPACTED, BUT THE OUTER FACE OF THE SLOPE IS ALLOWED TO REMAIN LOOSE SO THAT THE ROCKS, CLODS, ETC. REACH THE NATURAL ANGLE OF REPOSE.

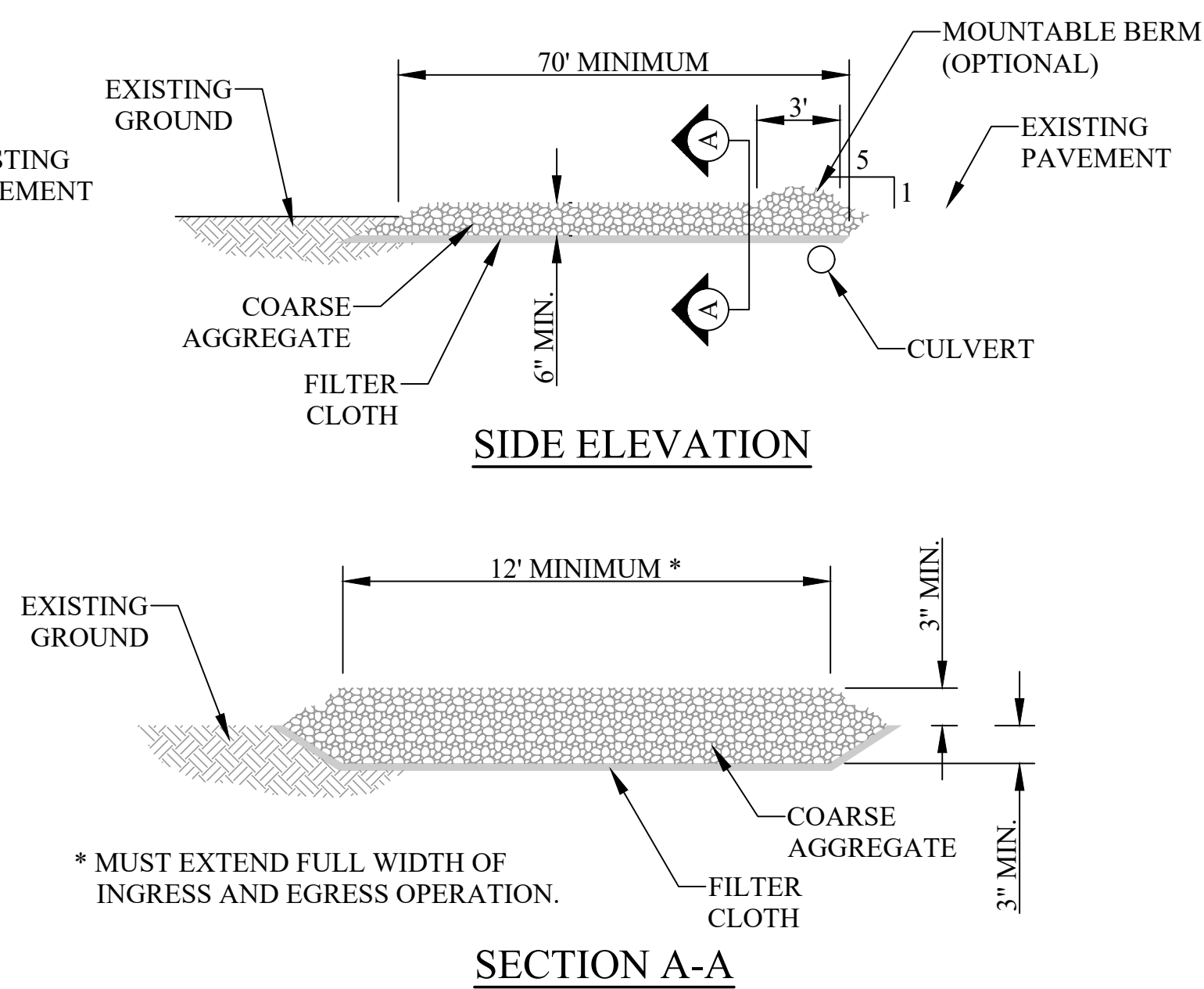
**FILL SLOPE TREATMENT**



**COMPOST FILTER SOCK**  
NOT TO SCALE



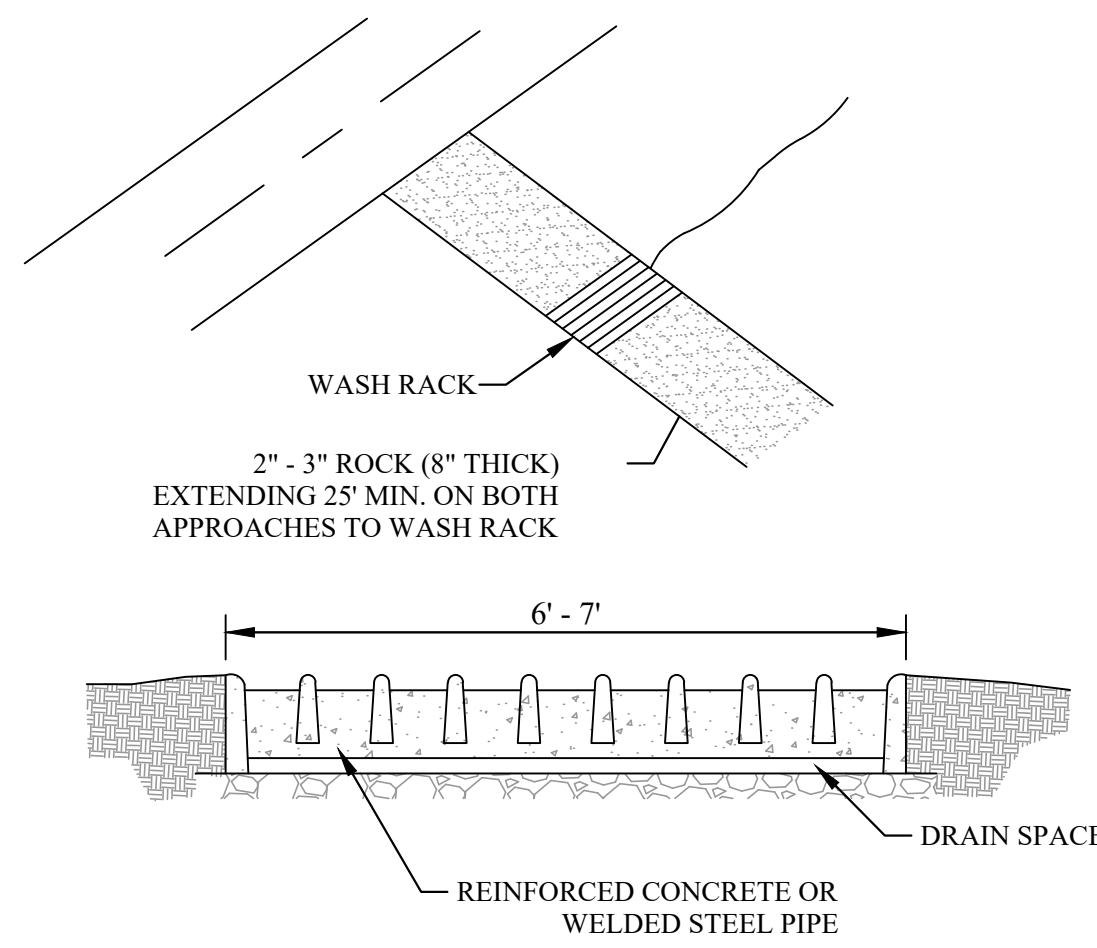
**PLAN VIEW**



**SIDE ELEVATION**

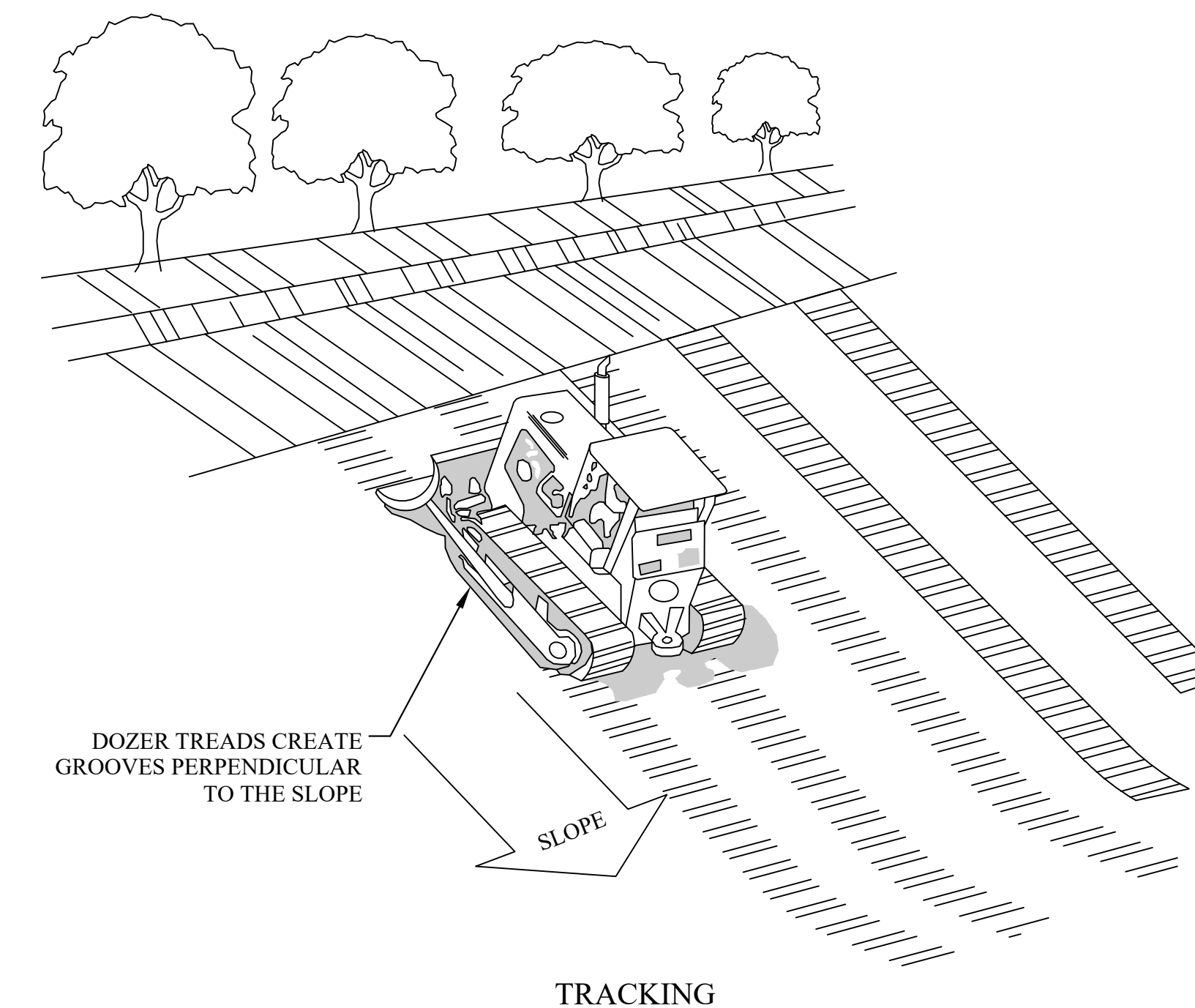
**SECTION A-A**

**STONE CONSTRUCTION ENTRANCE WITH WASH RACK**  
NOT TO SCALE



**WASH RACK DETAIL**  
NOT TO SCALE

**MAINTENANCE:**  
ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.



**TRACKING**

**SURFACE ROUGHENING**  
NOT TO SCALE

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**THE FOUNDRY  
HUNTINGTON MUNICIPAL  
DEVELOPMENT AUTHORITY  
CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

DRAWN: DATE:  
CHECKED: DATE:  
APPROVED: DATE:

PROJECT No. T60-11055

DETAILS

SHEET No.

**C6.00**



**NOT FOR CONSTRUCTION**

NO.	BY	DATE	DESCRIPTION

**THE FOUNDRY HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

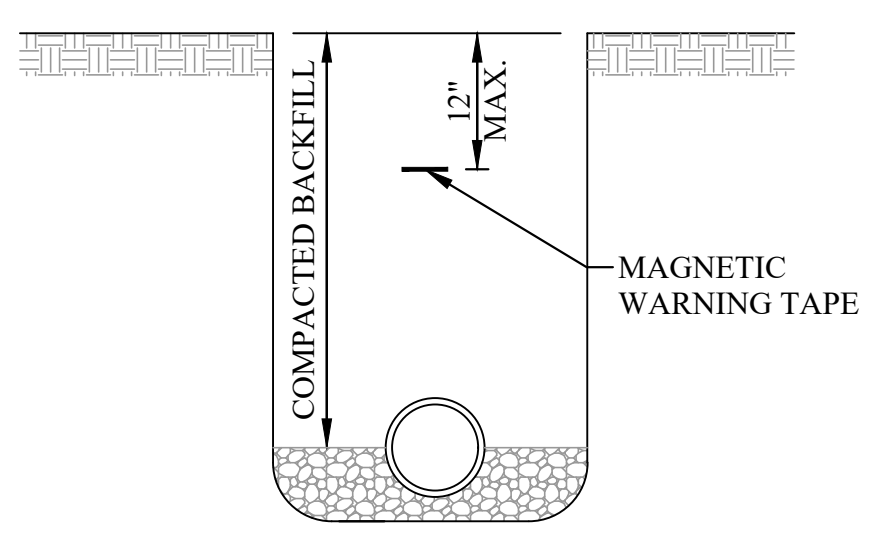
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PROJECT No.	T60-11055

DETAILS

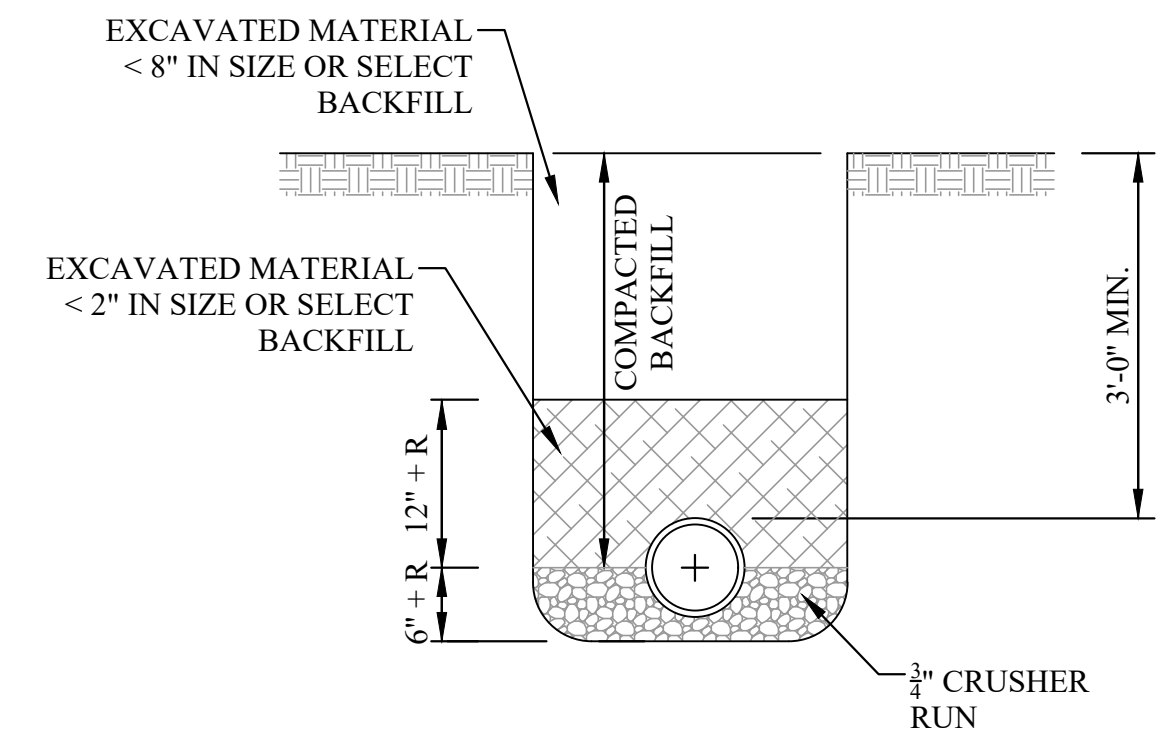
SHEET No. **C6.01**

RED	ELECTRIC
YELLOW	GAS - 6" WIDE
ORANGE	TELEPHONE
BLUE	WATER
GREEN	SEWER

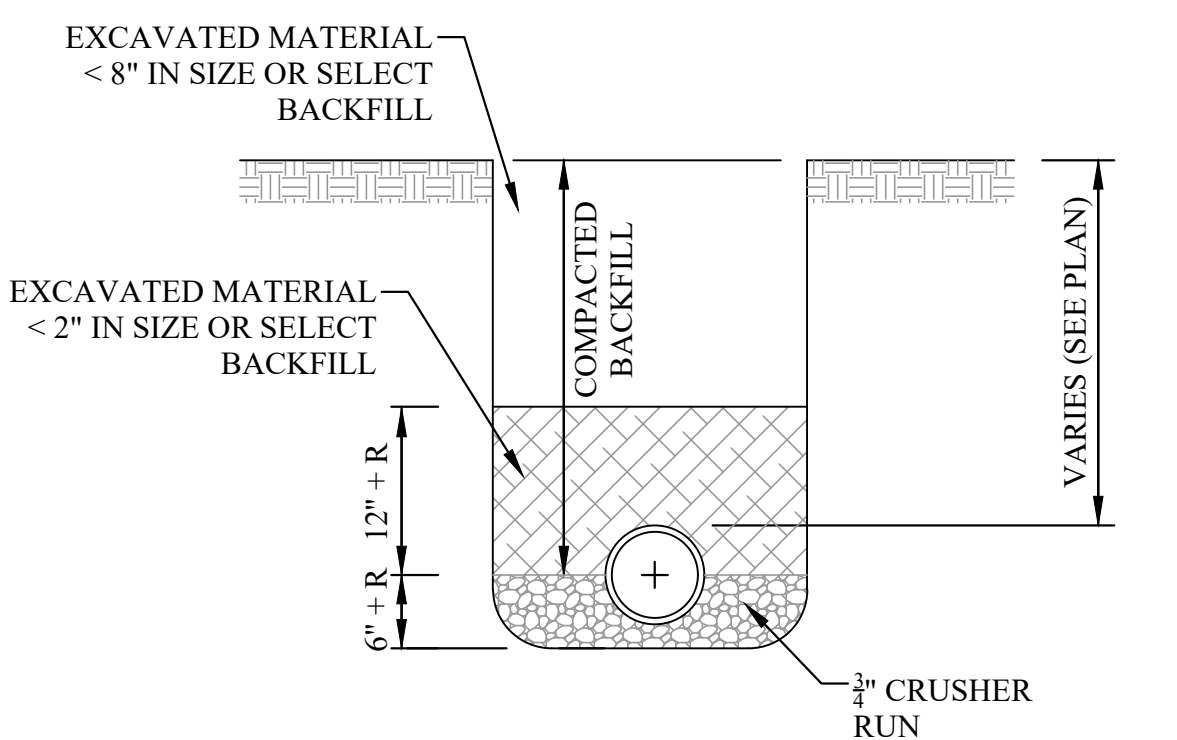
**COLOR CODES FOR UTILITY LOCATING  
MAGNETIC WARNING TAPE**



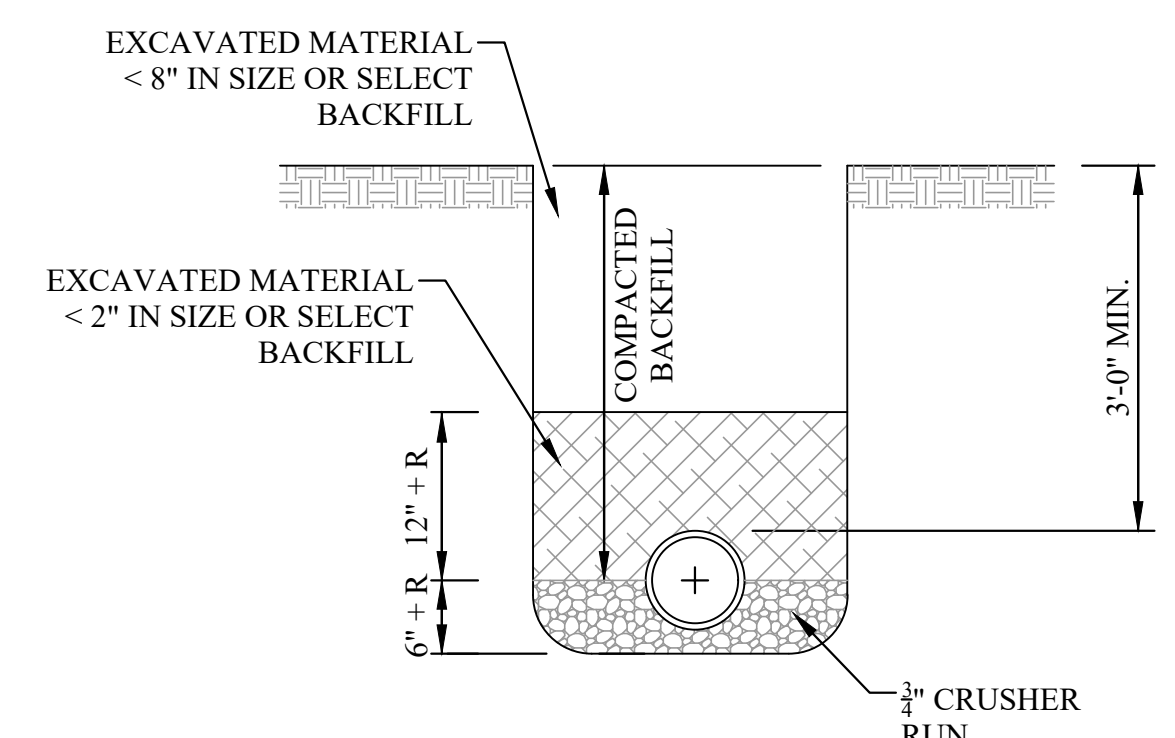
**UTILITY MAGNETIC WARNING TAPE**



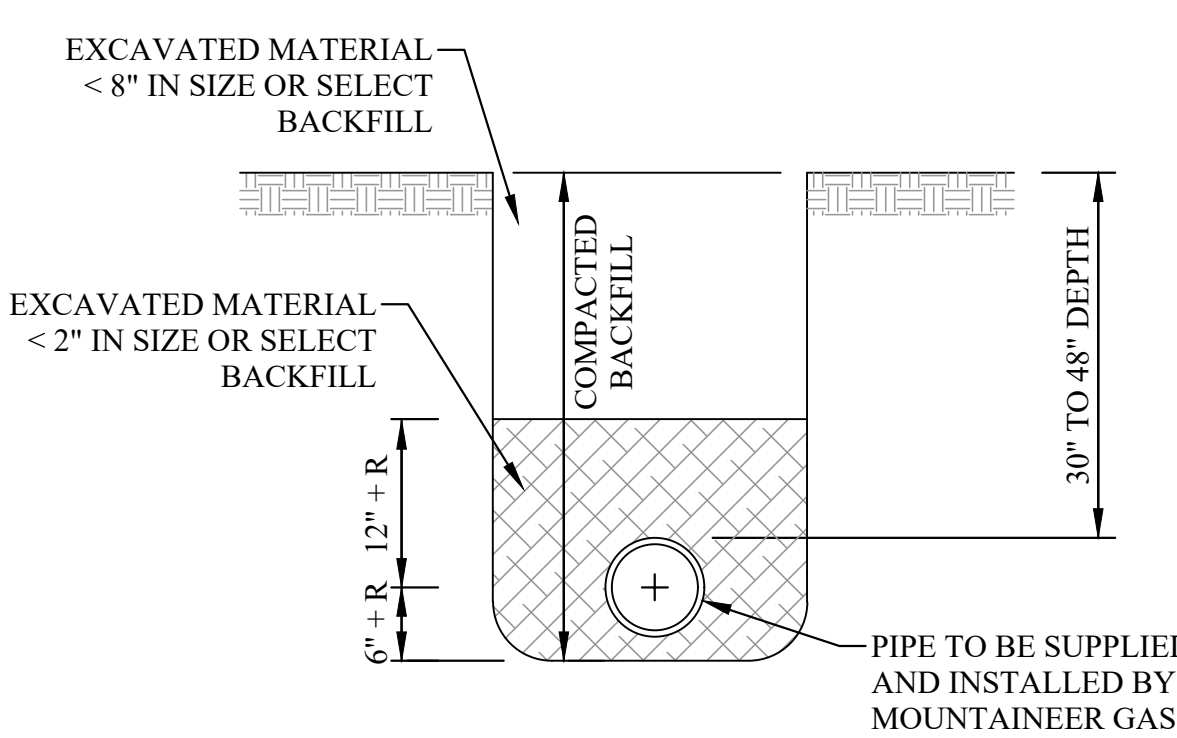
**BEDDING FOR SEWER PIPE**



**BEDDING FOR STORM SEWER PIPE**

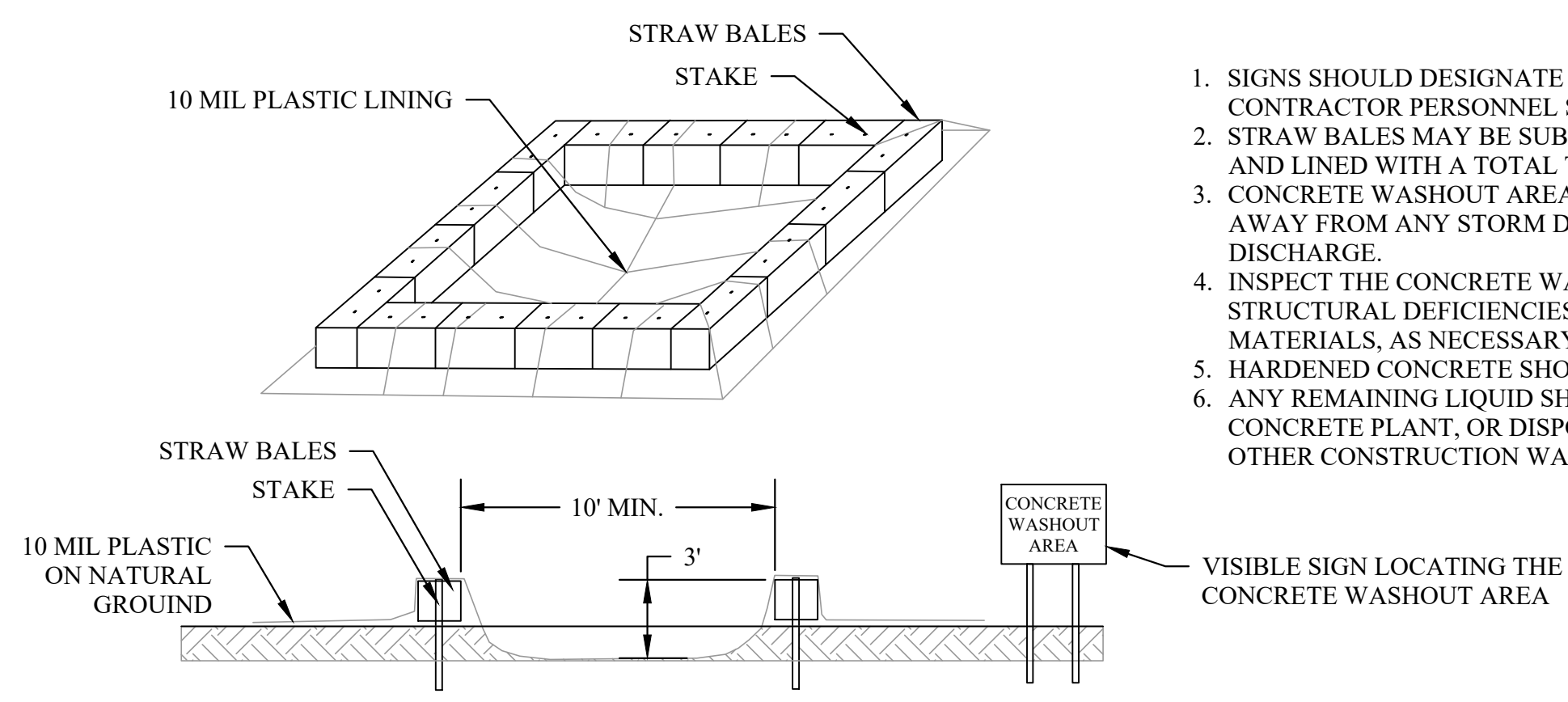


**BEDDING FOR WATER PIPE**



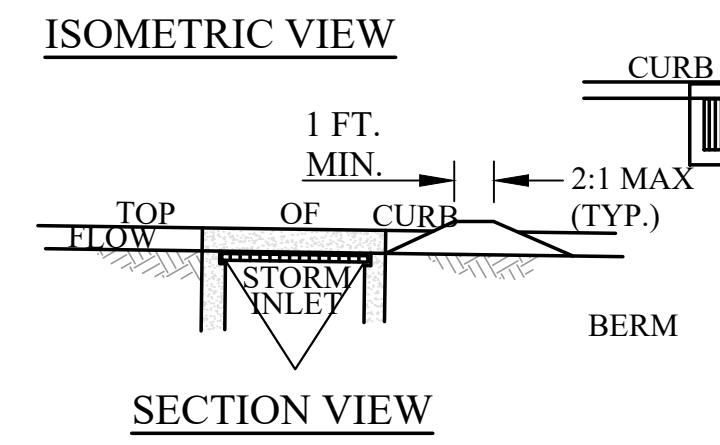
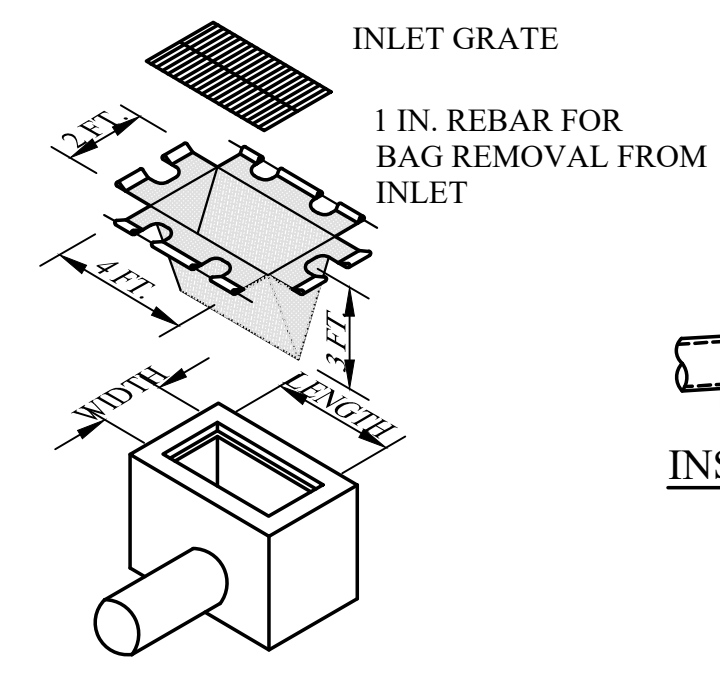
**BEDDING FOR GAS PIPE**

**TYPICAL CROSS SECTION OF TRENCHES  
NOT TO SCALE**



**TYPICAL CONCRETE WASHOUT AREA  
NOT TO SCALE**

- SIGNS SHOULD DESIGNATE THE LOCATION OF THE WASHOUT AREA, AND CONTRACTOR PERSONNEL SHOULD BE INFORMED OF ITS LOCATION.
- STRAW BALES MAY BE SUBSTITUTED WITH SANDBAGS, WOOD, OR THE LIKE AND LINED WITH A TOTAL THICKNESS OF 10 MIL PLASTIC
- CONCRETE WASHOUT AREAS SHOULD BE SITED A MINIMUM OF 50 YARDS AWAY FROM ANY STORM DRAINS OR WATERWAYS TO PREVENT ACCIDENTAL DISCHARGE.
- INSPECT THE CONCRETE WASHOUT FACILITY DAILY TO DETECT LEAKS OR STRUCTURAL DEFICIENCIES, AND TO REMOVE ANY ACCUMULATED WASTE MATERIALS, AS NECESSARY.
- HARDENED CONCRETE SHOULD BE RECYCLED OR DISPOSED OF PROPERLY.
- ANY REMAINING LIQUID SHOULD BE COLLECTED AND RECYCLED AT THE CONCRETE PLANT, OR DISPOSED OF IN A LEAK-PROOF CONTAINER WITH OTHER CONSTRUCTION WASTE.



**INSTALLATION DETAIL**

**NOTES:**  
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.  
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.  
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**FILTER BAG INLET PROTECTION  
NOT TO SCALE**

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 PLOT DATE/TIME: 6/17/2024 9:44 AM  
 LAYOUT: C6.01-DETAILS  
 USER: wyeat.j.drapeer



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DESCRIPTION  
DATE  
BY  
NO.

THE FOUNDRY  
HUNTINGTON MUNICIPAL  
DEVELOPMENT AUTHORITY  
CONTRACT #1 SITE AND UTILITIES

CABELL COUNTY, WV

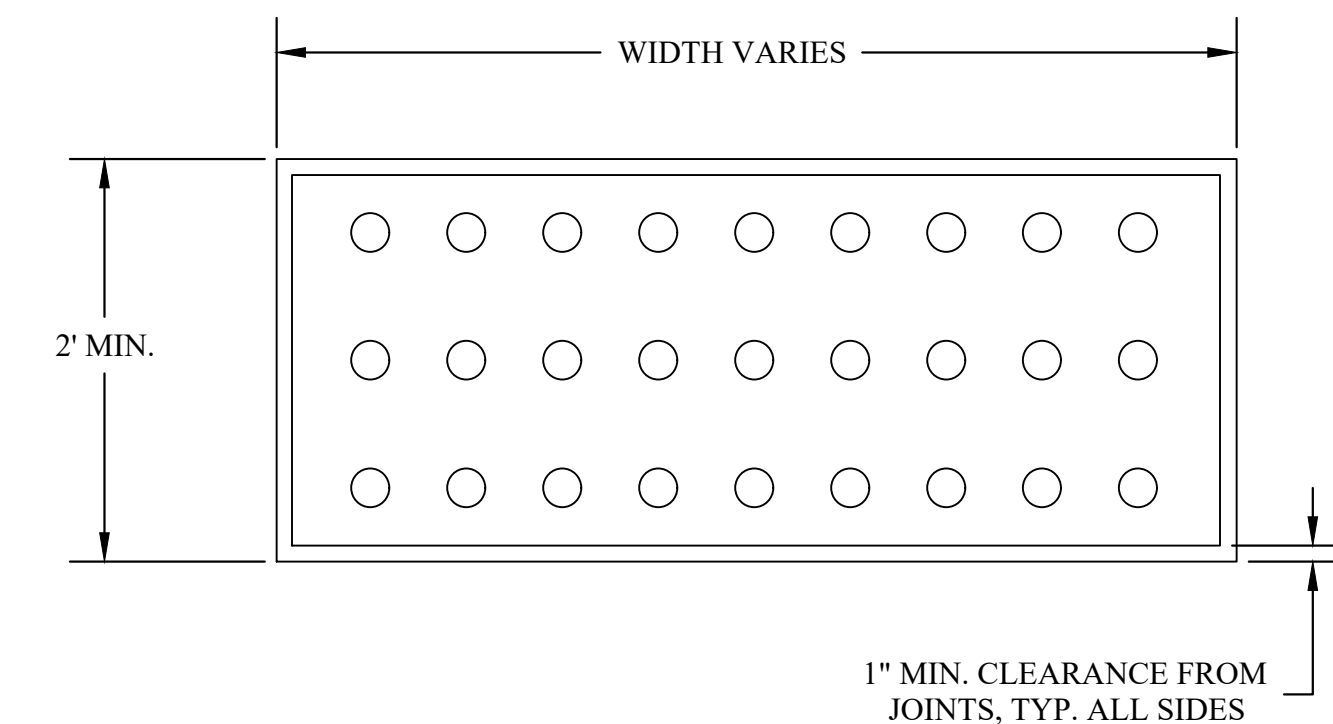
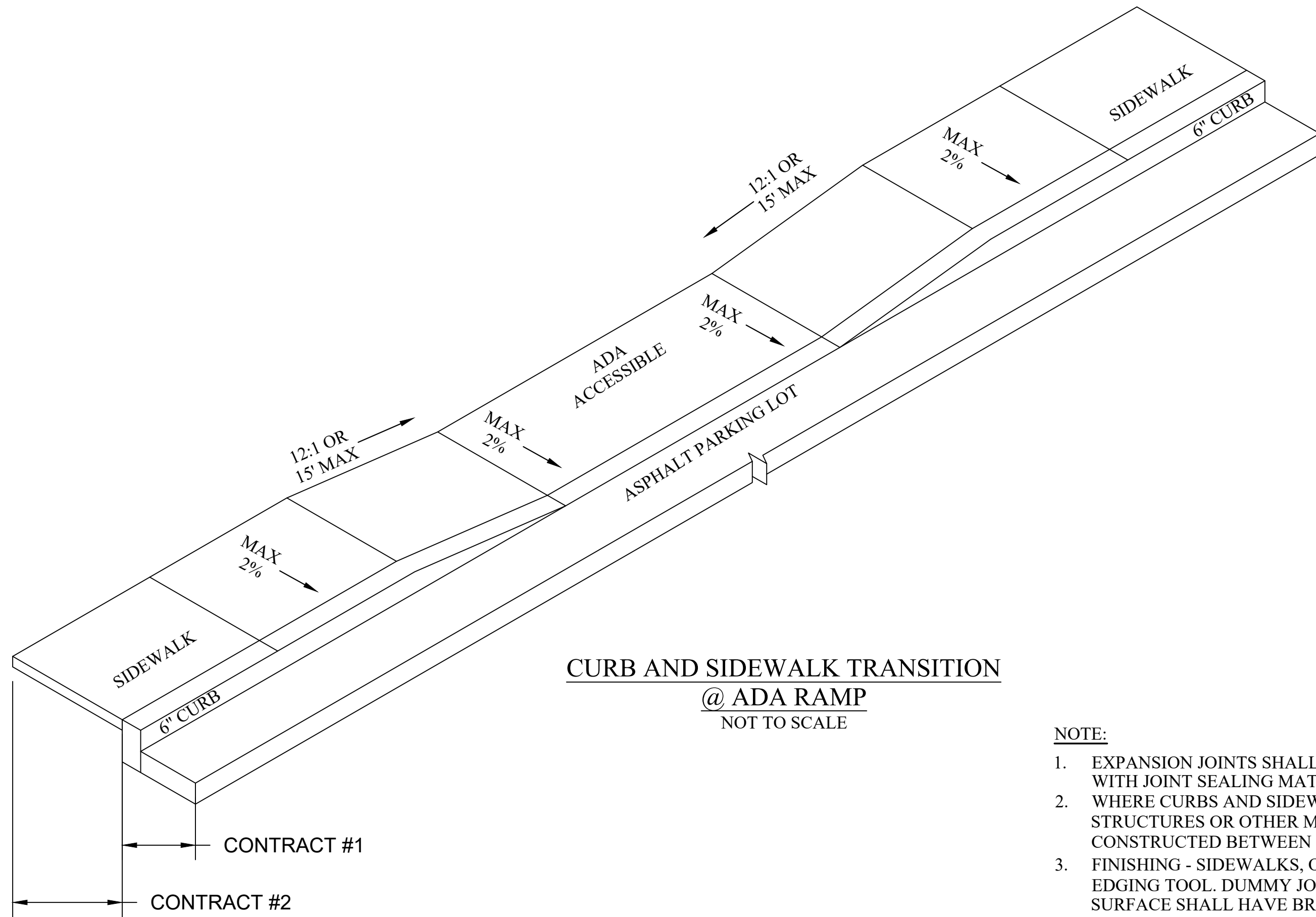
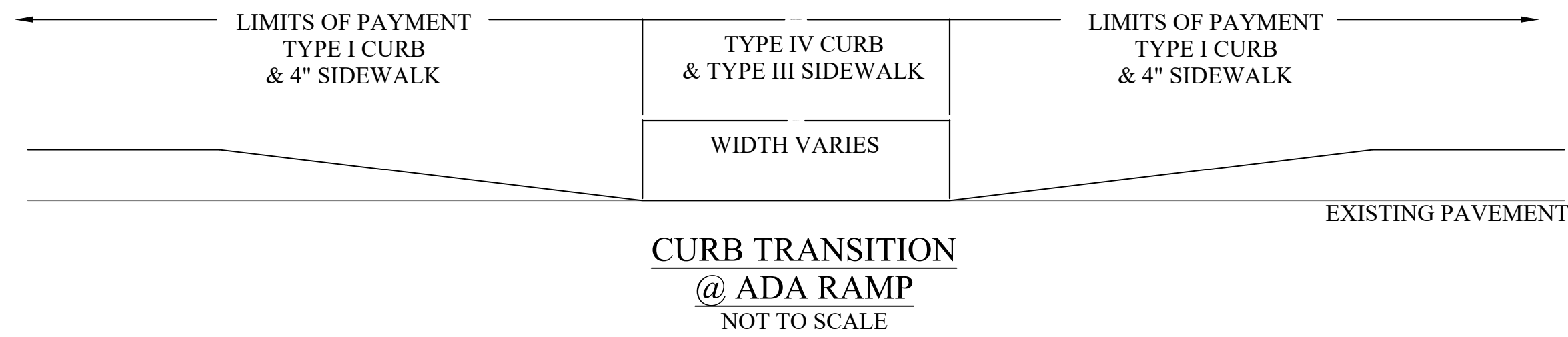
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PROJECT No. T60-11055

DETAILS

SHEET No.

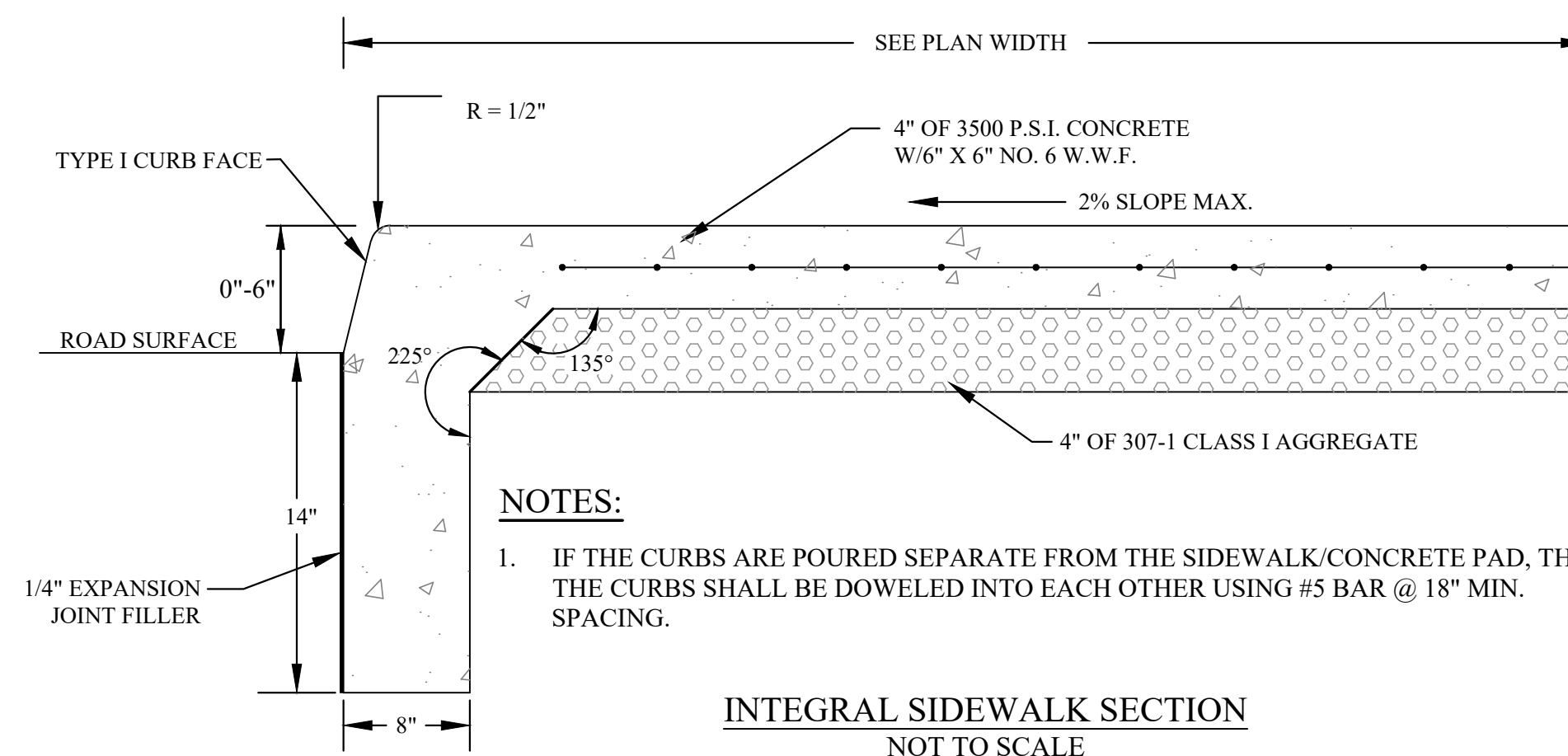
C6.02



- NOTES:**
1. THE APPROPRIATE DETAILS AND NOTES OF STANDARD WVDOT SHEET PVT 7, SHEETS 1 AND 2 SHALL APPLY TO THIS STANDARD DETAIL.
  2. DETECTABLE WARNING SURFACES SHALL EXTEND ACROSS THE FULL WIDTH OF THE CURB RAMP, LANDING, OR TRANSITION.
  3. DOMES SHALL BE ALIGNED IN THE PREDOMINANT DIRECTION OF THE CURB RAMP.
  4. DESIGN AND PLACEMENT OF DETECTABLE WARNING SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION 609 OF THE SPECIFICATIONS AND THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

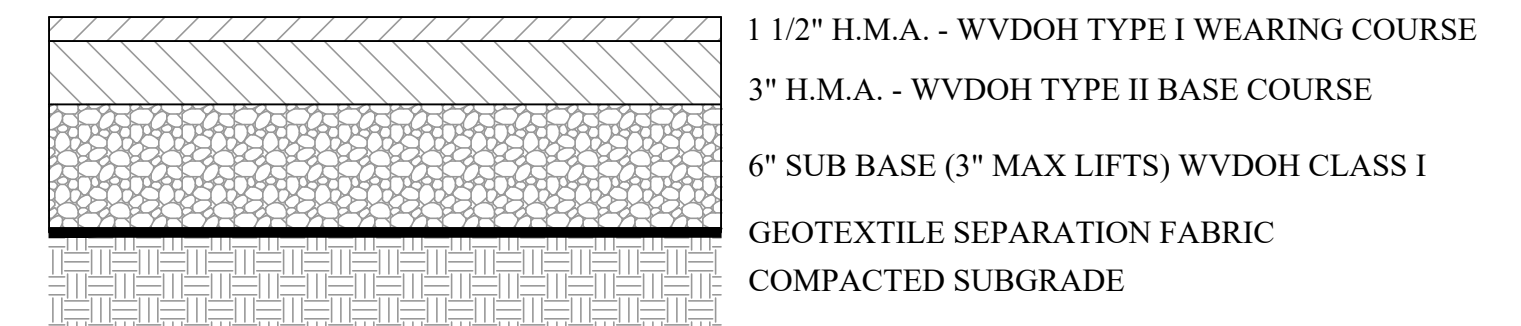
**NOTE:**

1. EXPANSION JOINTS SHALL BE 1/2" WIDE PREFORMED EXPANSION JOINT FILLER AND SEALED WITH JOINT SEALING MATERIAL AS APPROVED BY OWNER.
2. WHERE CURBS AND SIDEWALKS ARE PLACED AROUND OR ADJACENT TO DRAINAGE STRUCTURES OR OTHER MISCELLANEOUS STRUCTURES, EXPANSION JOINTS SHALL BE CONSTRUCTED BETWEEN SUCH APPURTENANCES AND THE CURB OR SIDEWALK.
3. FINISHING - SIDEWALKS, OUTSIDE EDGES, AND JOINTS SHALL BE EDGED WITH A 1/2" RADIUS EDGING TOOL. DUMMY JOINTS SHALL BE 3/8" DEEP AND 1/8" WIDE AND SPACED EVERY 5'. SURFACE SHALL HAVE BROOM FINISH. BROOMING SHALL BE TRANSVERSE TO THE LINE OF TRAFFIC.
4. DETECTABLE WARNING SURFACE SHALL BE INSTALLED AS SHOWN IN THE DETAILS.
5. ANY PIPES THAT ARE INSTALLED BENEATH THE SIDEWALK AND/OR CURB SHALL HAVE A CLEARANCE OF MINIMUM OF 6" BETWEEN BOTTOM OF THE LOWEST CONCRETE BOTTOM AND THE TOP OF THE PIPE.

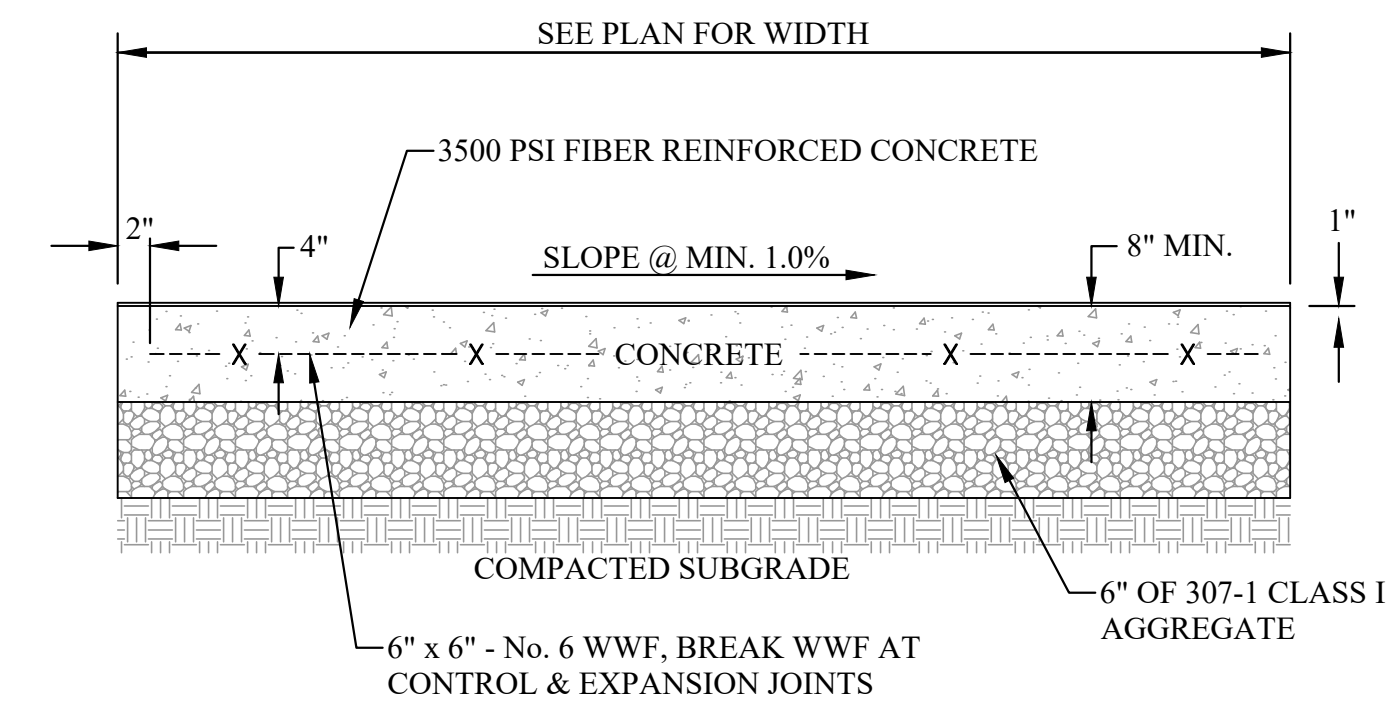


**NOTES:**

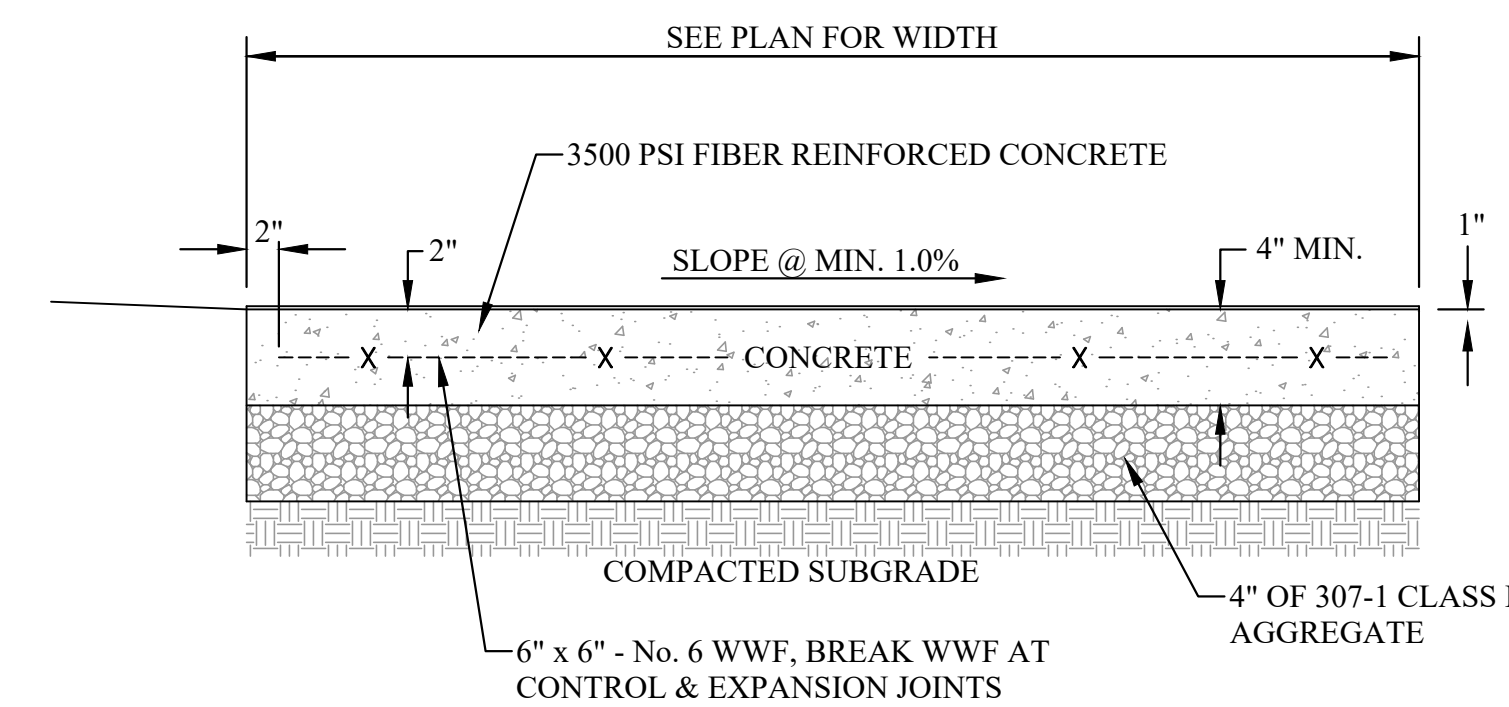
1. IF THE CURBS ARE POURED SEPARATE FROM THE SIDEWALK/CONCRETE PAD, THEN THE CURBS SHALL BE DOWELED INTO EACH OTHER USING #5 BAR @ 18" MIN. SPACING.



**PARKING LOT PAVEMENT SECTION**  
NOT TO SCALE



**DUMPSTER PAD DETAIL**  
NOT TO SCALE



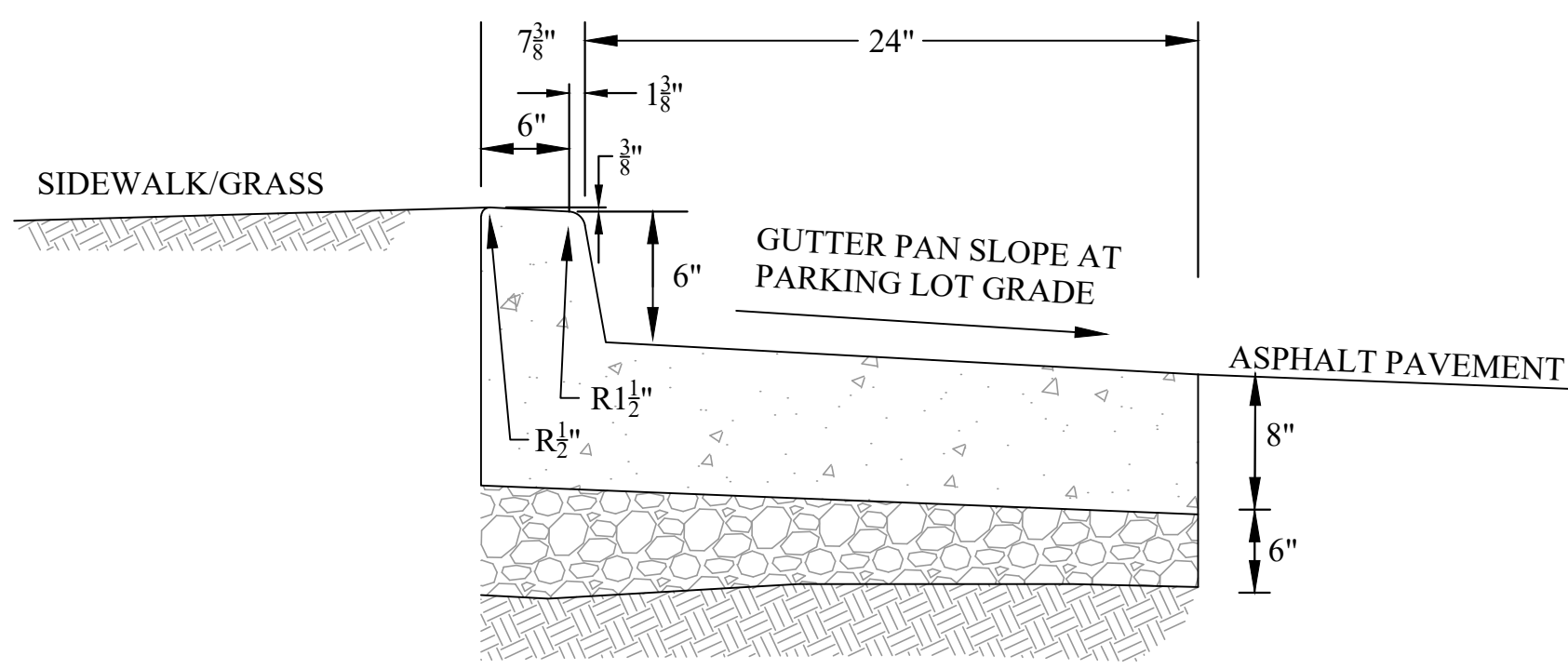
**NOTES:**

1. PLACE EXPANSION JOINT WHERE DIFFERENT SIDEWALKS ABUT, AND AGAINST ANY STRUCTURE.
2. PLACE EXPANSION JOINTS 20' O.C.
3. PLACE CONTRACTION JOINTS 5' O.C.
4. FINISH SURFACE WITH A NON-SLIP BROOM SWEEP FINISH.

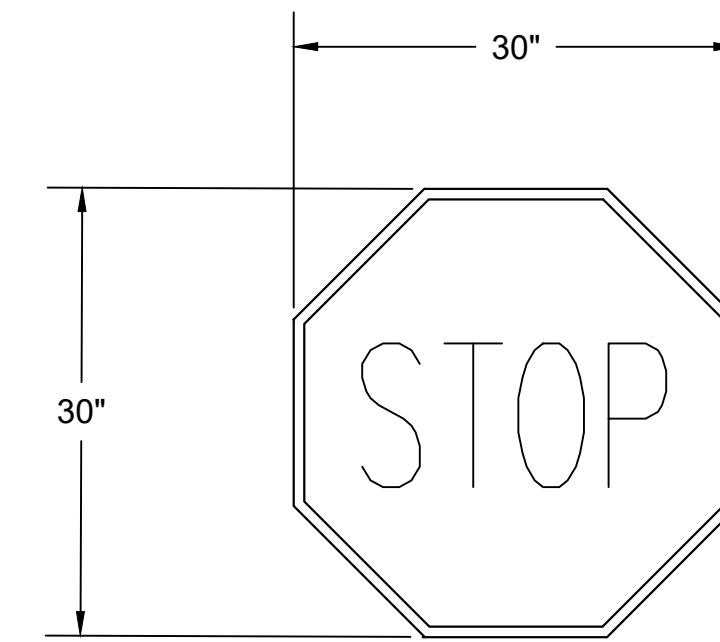
**TYPICAL SIDEWALK SECTION**  
NOT TO SCALE

NOT FOR CONSTRUCTION

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 LAYOUT: C6.03-DETAILS  
 USER: wyet.j.draeger



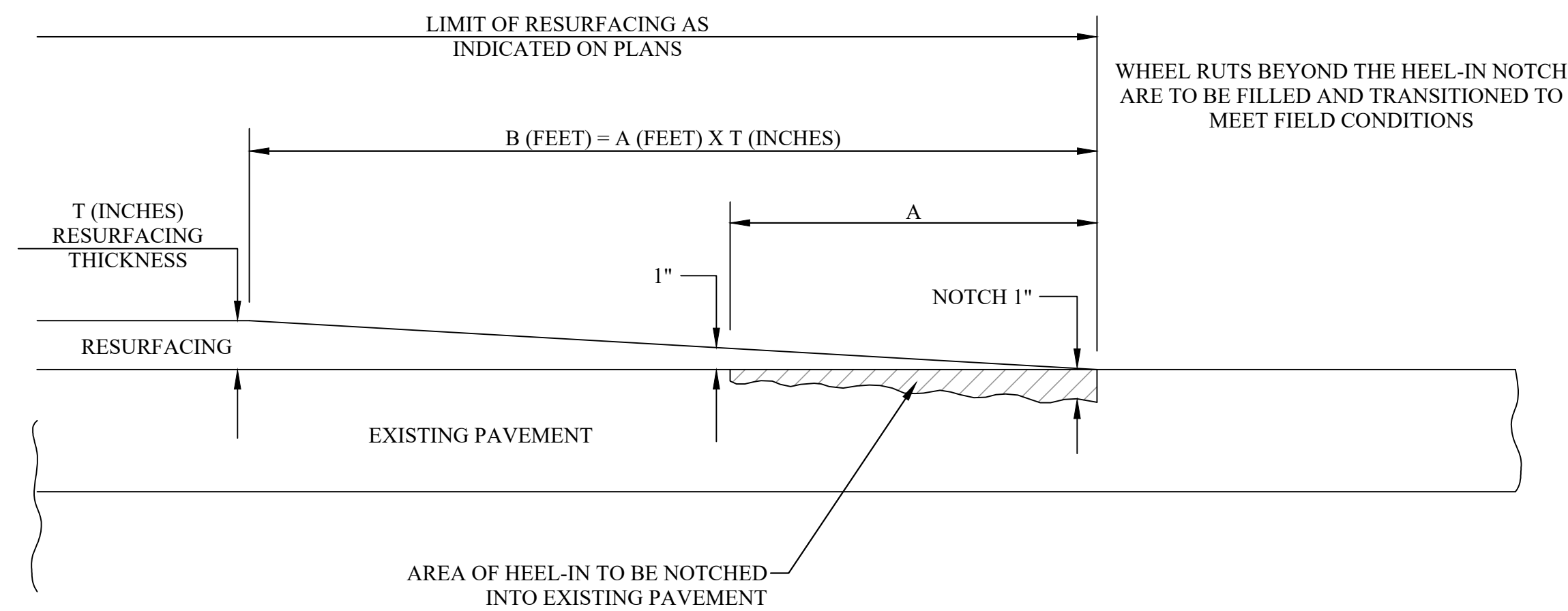
**CONCRETE CURB AND GUTTER**  
 NOT TO SCALE



R1-1

**SIGN DETAIL**  
 NOT TO SCALE

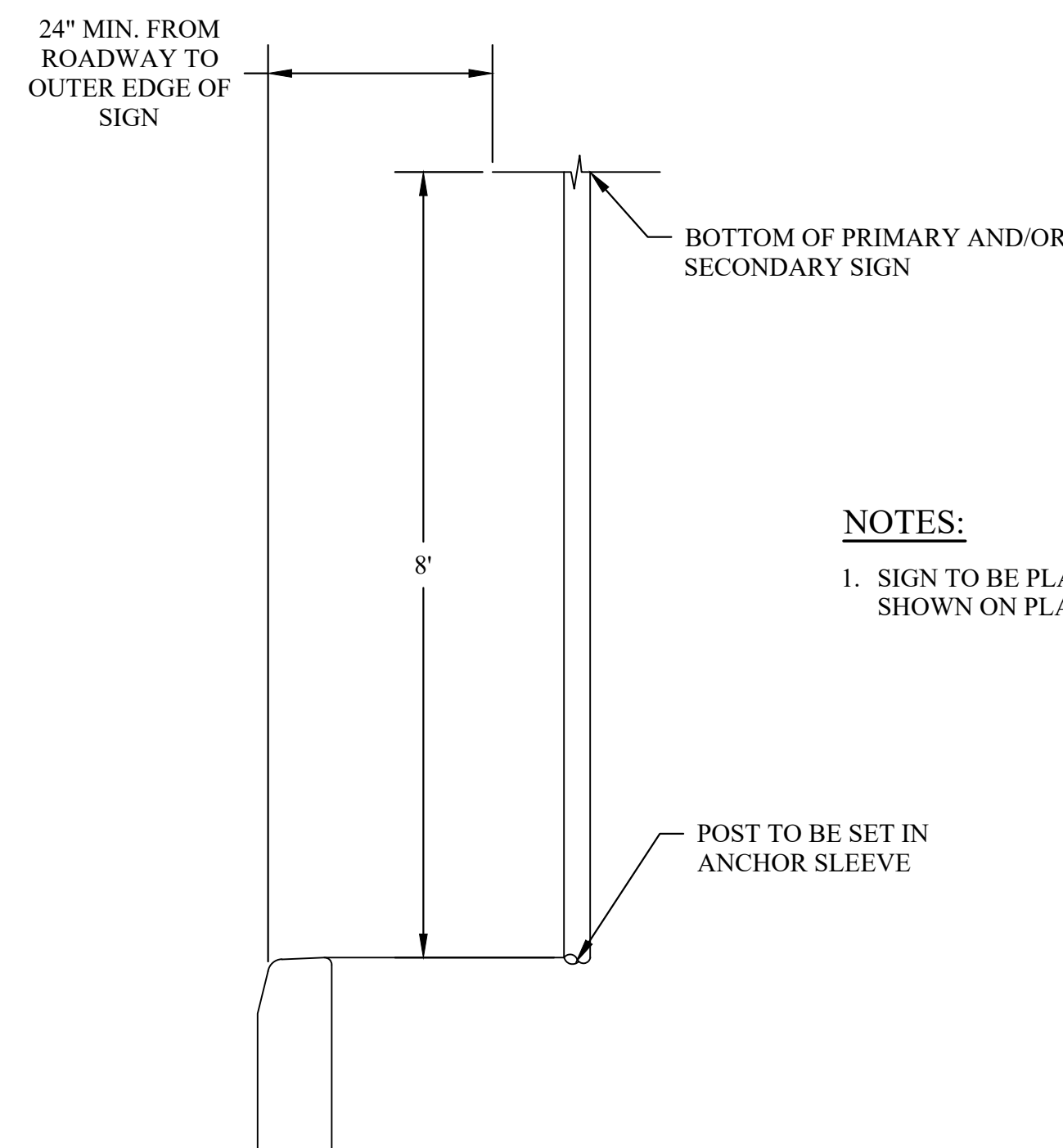
- NOTE:
1. PLACE BOTTOM OF SIGN 8'-0" ABOVE GRADE, UNLESS OTHERWISE NOTED.
  2. ALL SIGN POSTS SHALL BE SET IN ANCHOR SLEEVES.



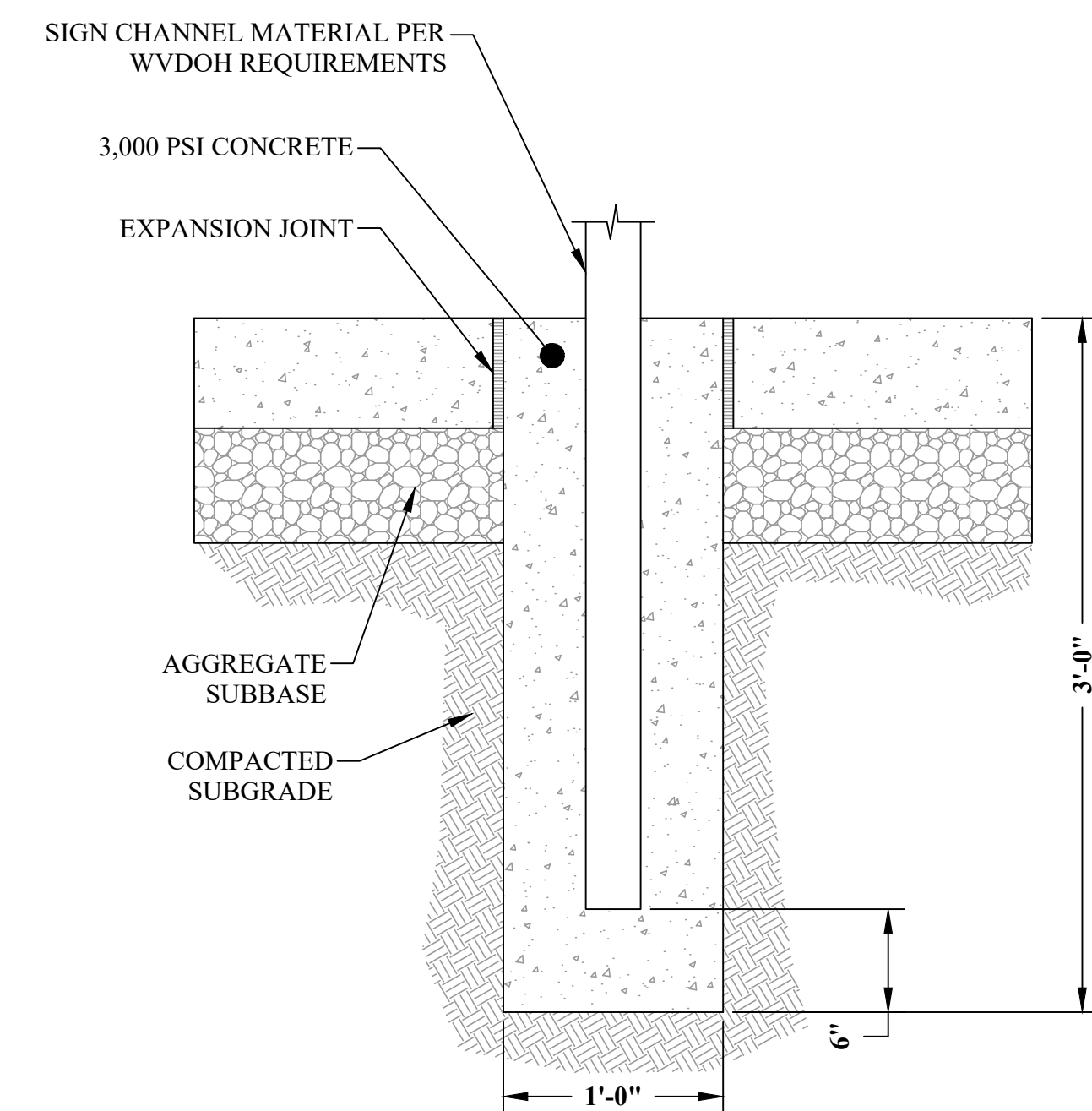
**PAVEMENT HEEL-IN**  
 NOT TO SCALE

- NOTES:
1. THIS DETAIL IS TO BE USED AT TERMINI OF RESURFACING PROJECTS AND AT ALL TERMINI FOR SKIP RESURFACING PROJECTS.
  2. THIS DETAIL TO BE USED AT LOCATIONS FOR HEEL-IN INTERSECTIONS OF THIS PROJECT.

POSTED SPEED LIMIT	A
25	2'
30 TO 35	4'
40 TO 45	6'
50 TO 55	8'



**TRAFFIC CONTROL SIGNS DETAIL**  
 NOT TO SCALE



**SIGN ANCHORING DETAIL**  
 NOT TO SCALE

THE FOUNDRY  
 HUNTINGTON MUNICIPAL  
 DEVELOPMENT AUTHORITY  
 CONTRACT #1 SITE AND UTILITIES

CABELL COUNTY, WV

DRAWN: DATE:  
 CHECKED: DATE:  
 APPROVED: DATE:

PROJECT No. T60-11055

DETAILS

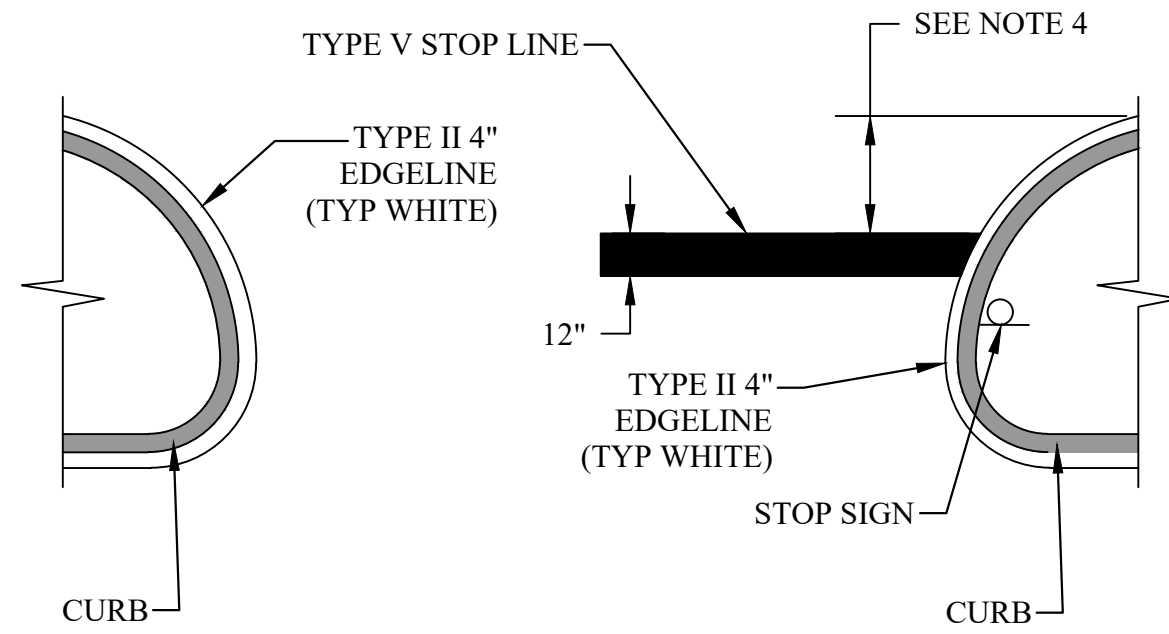
SHEET No.

C6.03



**NOTES:**

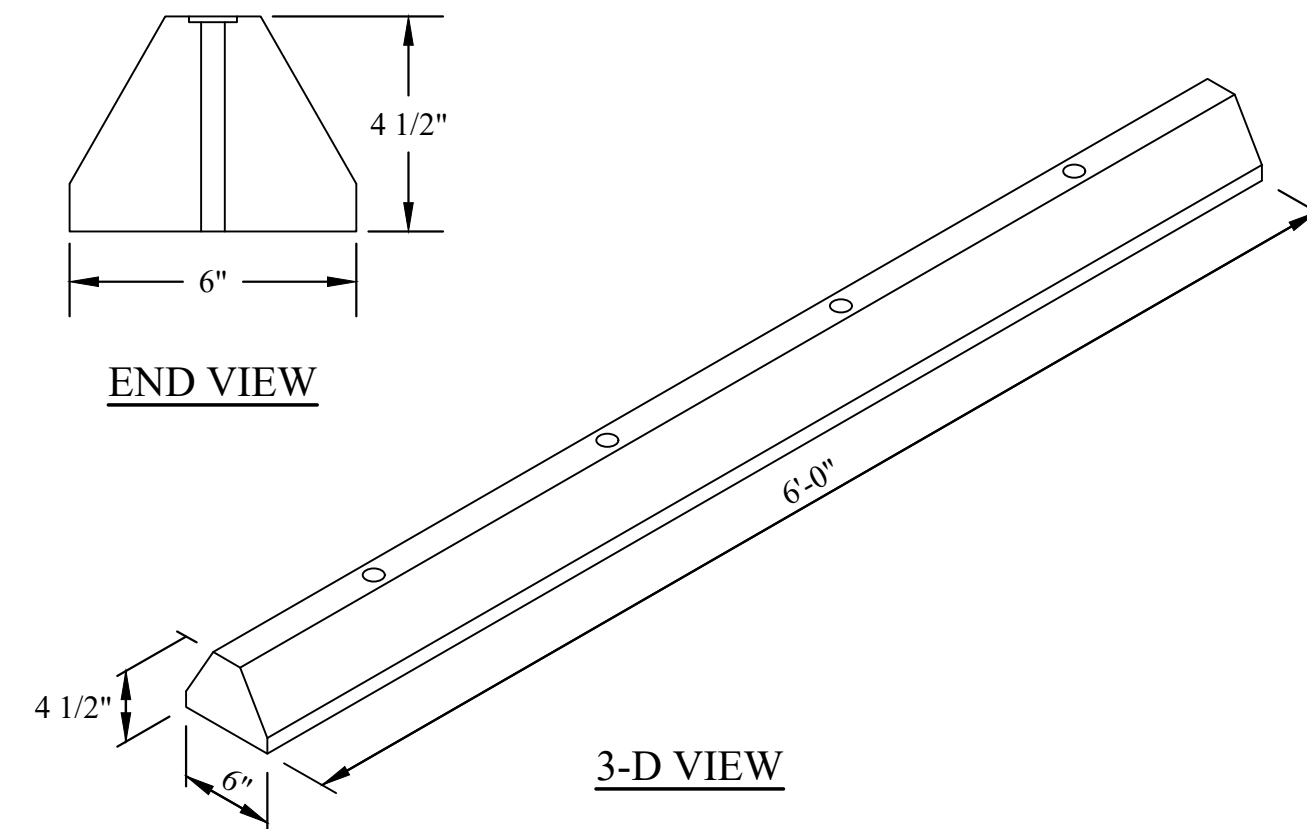
1. LOCATION OF STOP LINE MARKING SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY ENGINEER.
2. ALL STOP LINE MARKINGS SHALL BE WHITE IN COLOR.
3. STOP LINE MARKING SHALL BE MADE OF WHITE TYPE V MATERIAL (WVDOH)
4. IN THE ABSENCE OF A MARKED CROSSWALK, THE STOP LINE SHOULD NOT BE PLACED MORE THAN 30 FEET OR LESS THAN 4 FEET FROM THE NEAREST EDGE OF INTERSECTING TRAVELED WAY.



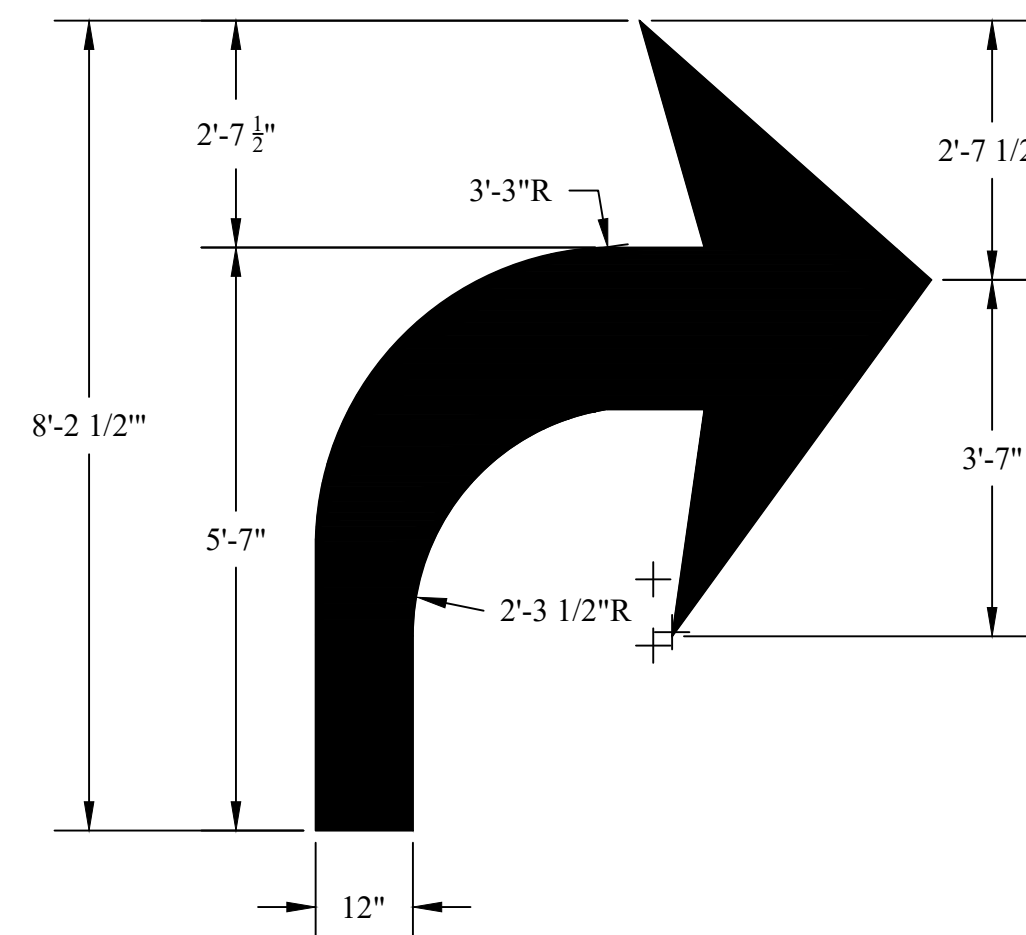
**TYPICAL STOP LINE PAVEMENT MARKING**  
NOT TO SCALE

**NOTES:**

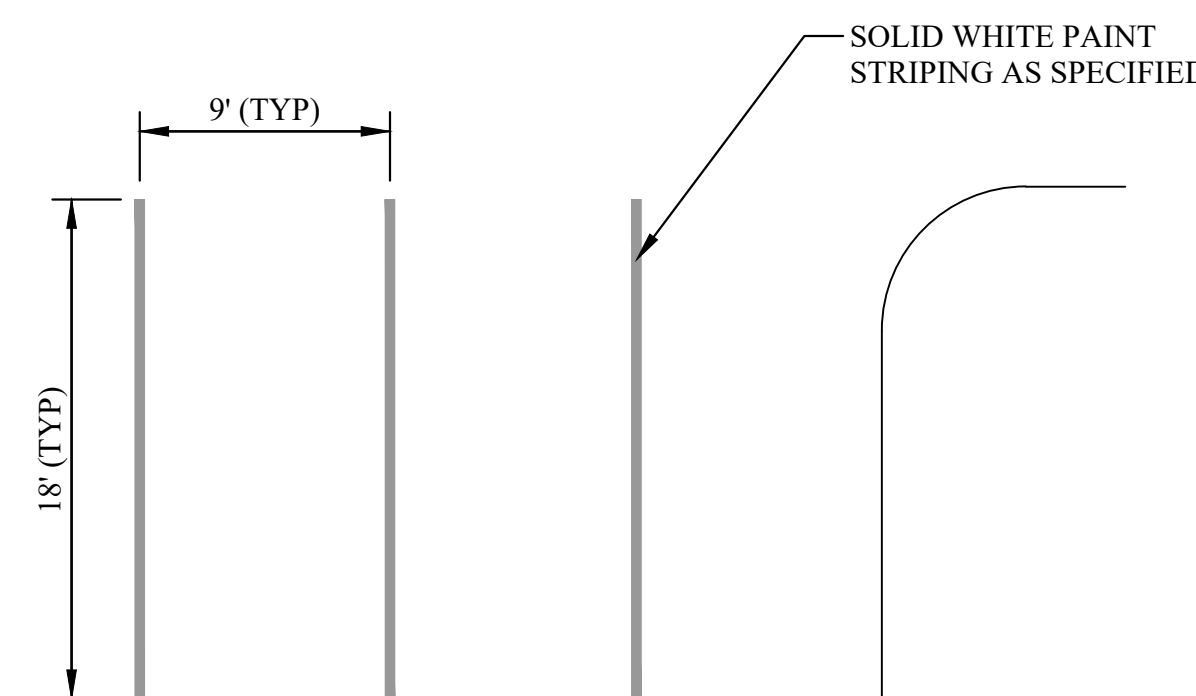
1. HARDWARE INSTALLATION HOLES ARE DRILLED WITH 1/2" DRILL BIT.
2. USE 14" X 1/2" REBAR SPIKE WITH 5/8" WASHER FOR ASPHALT OR GRAVEL INSTALLATIONS. 6" X 1/2" LAG SCREW, WASHER AND SHORT SHIELD FOR CONCRETE INSTALLATIONS.
3. USE 10 OUNCE OF EPOXY OR CONSTRUCTION ADHESIVE (I.E. POLYURETHANE PL PREMIUM) FOR INSTALLATIONS WHERE NO HARDWARE IS ALLOWED (I.E. PARKING GARAGES).



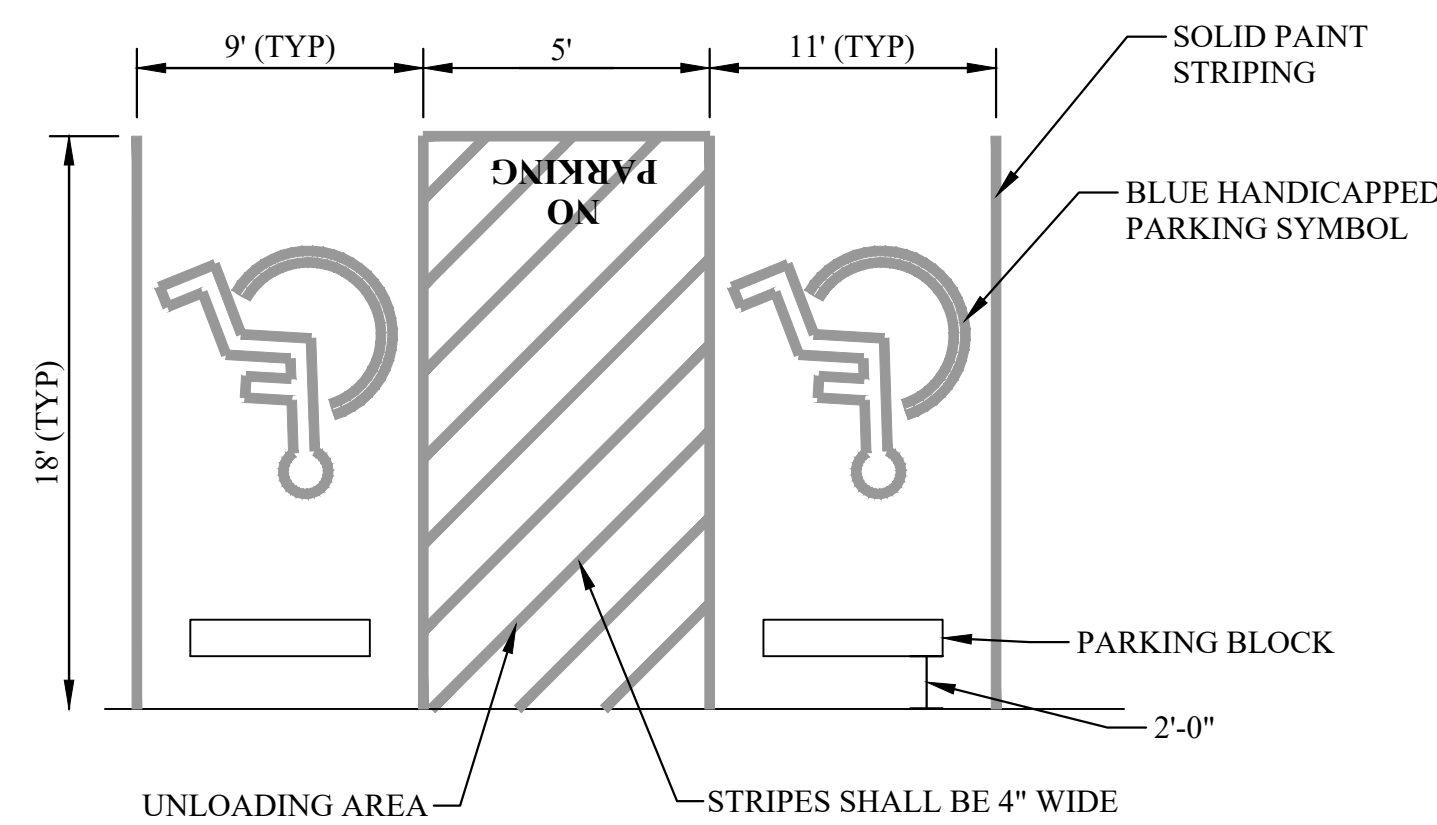
**RUBBER PARKING BUMPER**  
NOT TO SCALE



**TYPICAL LANE ASSIGNMENT RIGHT ONLY DIRECTIONAL AAROW MARKING**  
NOT TO SCALE



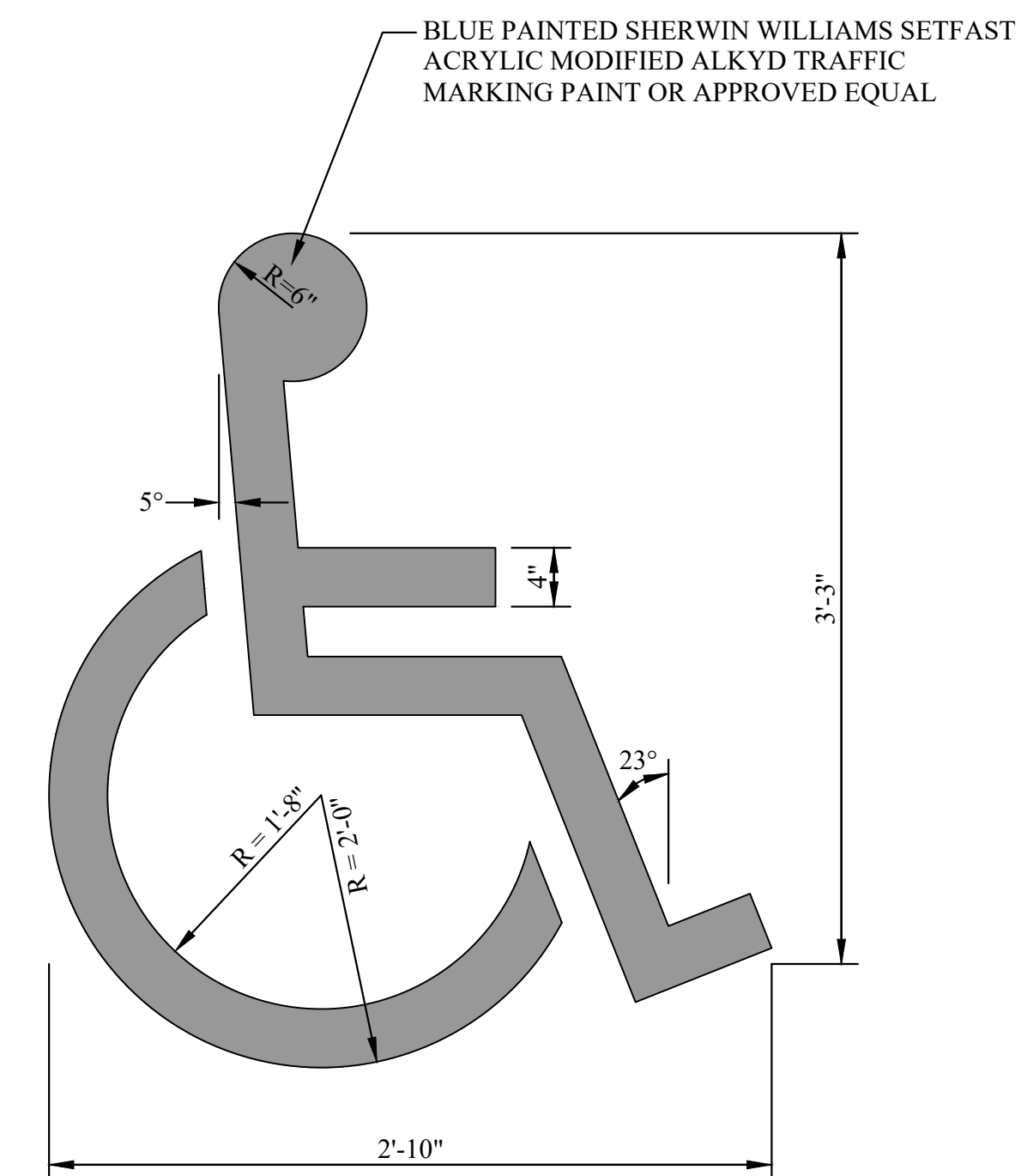
**PARKING STALL PAINTING**  
NOT TO SCALE



**NOTES:**

1. SEE PLAN FOR CONFIGURATION OF AREA SHOWN.
2. PARKING LOT GRADE WITHIN ADA PARKING SPACES AND LOADING SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. VAN ACCESSIBLE SHALL BE PARKING STALL 11' WIDE
4. NO PARKING TO BE ADDED TO BOTTOM OF ACCESS AISLE. TEXT SHALL BE 12" IN HEIGHT.

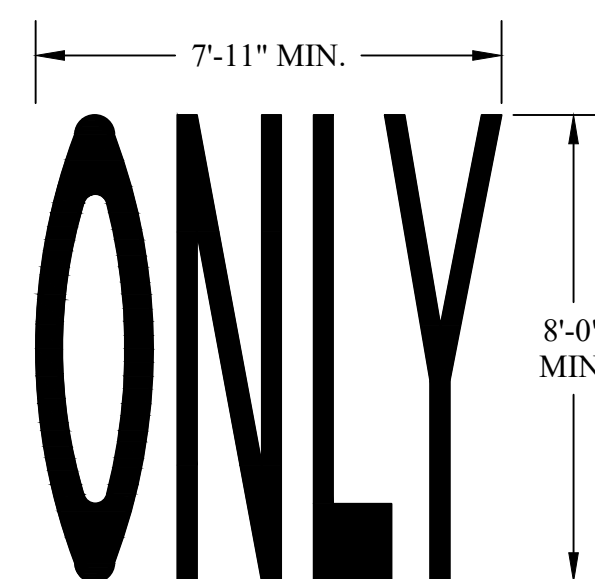
**HANDICAPPED PARKING**  
NOT TO SCALE



**INTERNATIONAL HANDICAP SYMBOL**  
NOT TO SCALE

**NOTES:**

1. LOCATION OF WORD MARKING SHALL BE AS SHOWN ON THE PLANS OR AS OTHERWISE SPECIFIED.
2. ALL WORD MARKINGS SHALL BE WHITE IN COLOR. (EXCEPTION: MARKINGS VISIBLE ONLY TO TRAFFIC PROCEEDING IN THE WRONG DIRECTION MAY BE RED.)
3. WORD MARKING SHALL BE MADE OF WHITE TYPE V MATERIAL AS INDICATED ON THE CONTRACT PLANS. ENHANCED SKID RESISTANT TYPE V MATERIAL SHALL BE USED WHEN SPECIFIED.
4. WORD MARKINGS SHALL BE MADE UP OF LETTERS OF THE SHAPE AND PROPORTION AS SHOWN IN SECTION 10 OF THE FHWA PUBLICATION "STANDARD HIGHWAY SIGNS AND MARKINGS", LATEST EDITION.



**TYPICAL WORD PAVEMENT MARKING**  
NOT TO SCALE

NOT FOR CONSTRUCTION

THE FOUNDRY  
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 CONTRACT #1 SITE AND UTILITIES

CABELL COUNTY, WV

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DETAILS

SHEET No.

C6.04





NOT FOR CONSTRUCTION

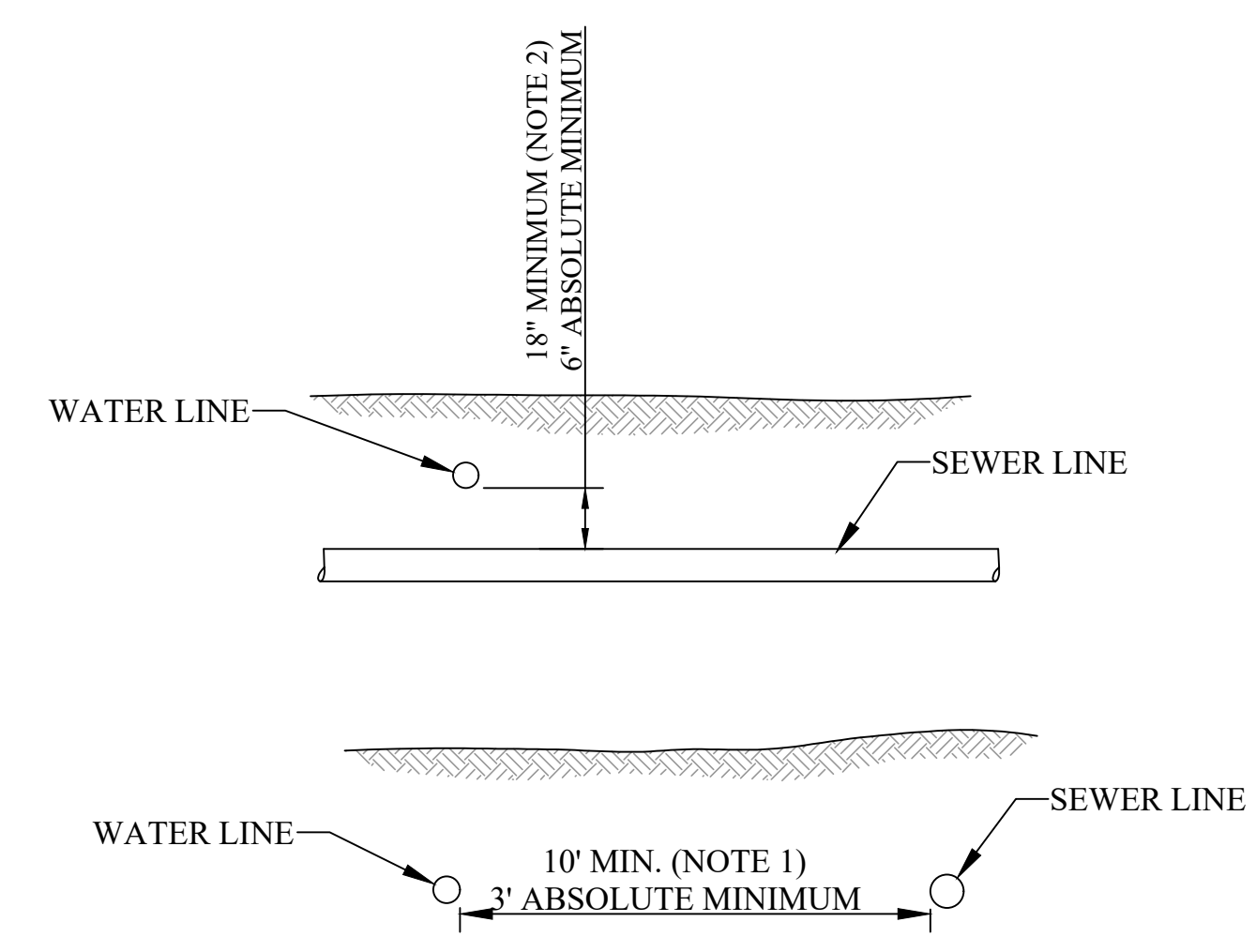
THE FOUNDRY  
 HUNTINGTON MUNICIPAL  
 DEVELOPMENT AUTHORITY  
 CONTRACT #1 SITE AND UTILITIES  
 CABELL COUNTY, WV

DRAWN: DATE:  
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 SHEET No. DETAILS  
**C6.06**

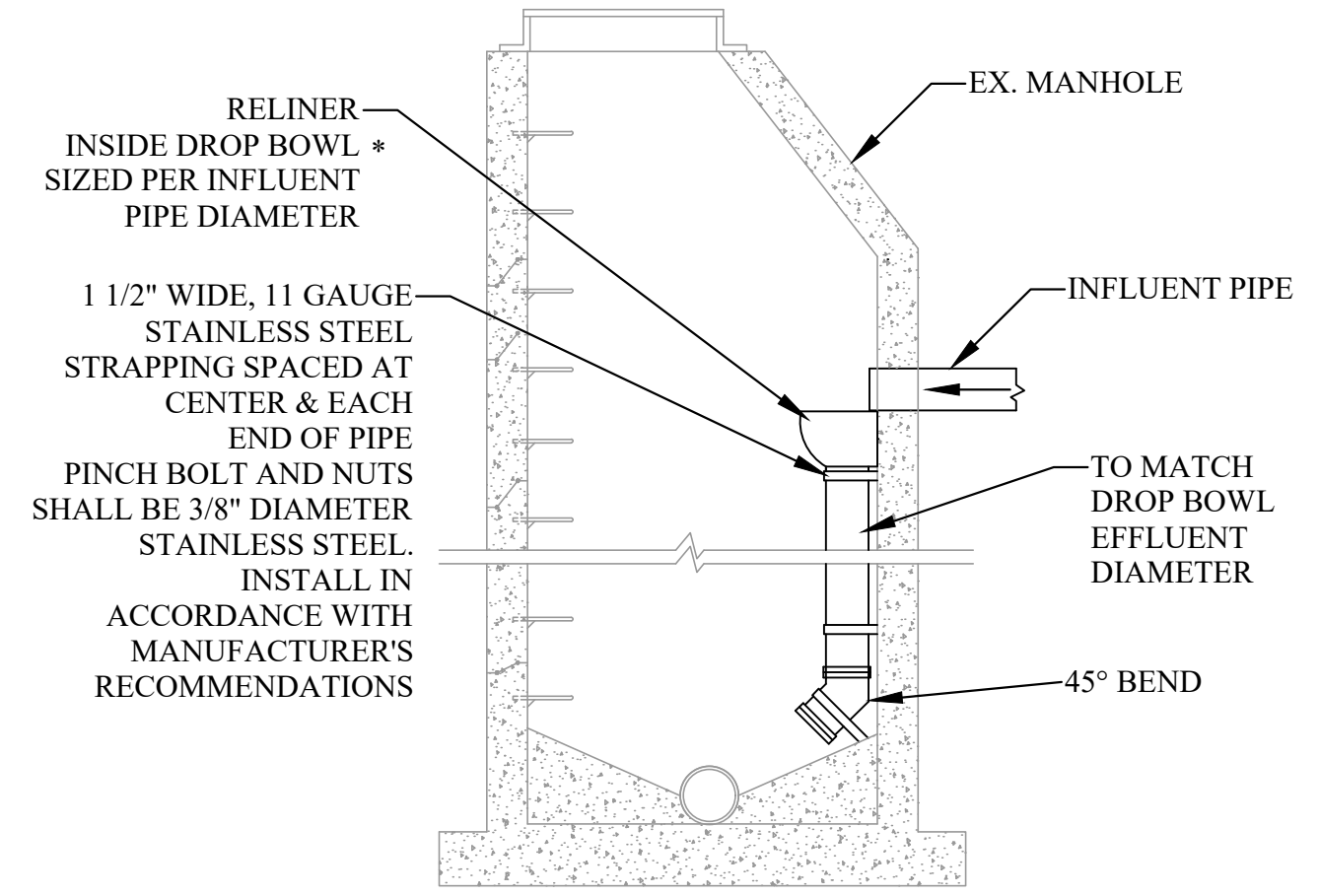
**SPECIAL CONSTRUCTION REQUIREMENTS NOTES FROM WEST VIRGINIA 64 CSR 47, PAGE 6**

1) IN CASES WHERE WATER AND GRAVITY OR PRESSURE SANITARY SEWER LINES MUST LAY CLOSER THAN TEN (10) FEET APART, THE SEWER LINE CONSTRUCTION SHALL BE A MINIMUM OF EIGHTEEN (18) INCHES LOWER THAN THE WATER LINE AND CONSTRUCTED OF A PRESSURE TYPE PIPE MEETING REQUIREMENTS FOR WATER LINES. THE INSTALLATION SHALL UNDERGO HYDRAULIC TESTING FOR A PERIOD OF NOT LESS THAN TWENTY-FOUR (24) HOURS AND WILL BE CONSIDERED SATISFACTORY IF LEAKAGE IS NOT MORE THAN 0.25 GALLONS PER INCH DIAMETER OF PIPE PER JOINT. IN LIEU OF HYDRAULIC TESTING, THE SEWER LINE CAN BE AIR TESTED. THE PLACEMENT OF THE WATER LINE SHALL BE UPON AN UNDISTURBED EARTH SHELF OR BENCH. BACKFILLING TO CREATE THE BENCH IS NOT PERMISSIBLE.

2) IF MAINTAINING A VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES IS NOT POSSIBLE, THE LOCATION OF THE GRAVITY OR PRESSURE SANITARY SEWER SHALL BE SO THAT IT CROSSES BETWEEN JOINTS OF THE WATER LINE. ALSO, CONSTRUCTION OF THE SEWER LINE SHALL BE SO THAT IT CROSSES UNDER THE WATER LINE AT MID JOINT. THE CONSTRUCTION OF THE SEWER SHALL BE OF A PRESSURE TYPE PIPE MEETING THE REQUIREMENTS FOR WATER LINES AT THE CROSSING. A MINIMUM VERTICAL CLEARANCE OF SIX (6) INCHES BETWEEN THE SEWER AND WATER LINES SHALL BE MAINTAINED. THE CONSTRUCTION OF A GRAVITY OR PRESSURE SANITARY SEWER LINE, OR BOTH, SHALL NOT BE OVER THE TOP OF A WATER LINE. ENCASE THE SEWER LINE SO THAT THE CASING EXTENDS AT LEAST TEN (10) FEET ON EACH SIDE OF THE CROSSING.

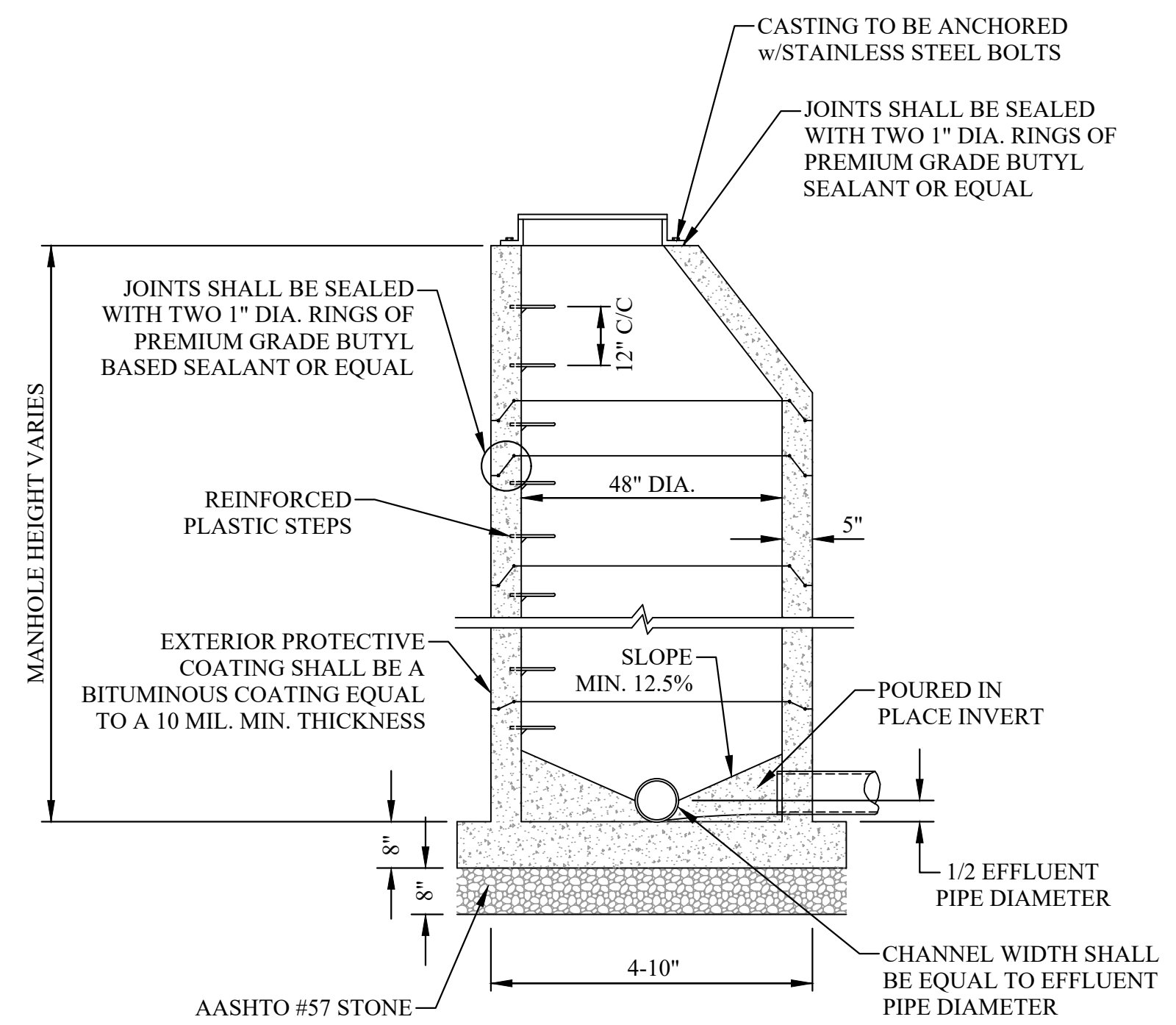


**SEPARATION OF SEWER AND WATER LINES**  
 NOT TO SCALE

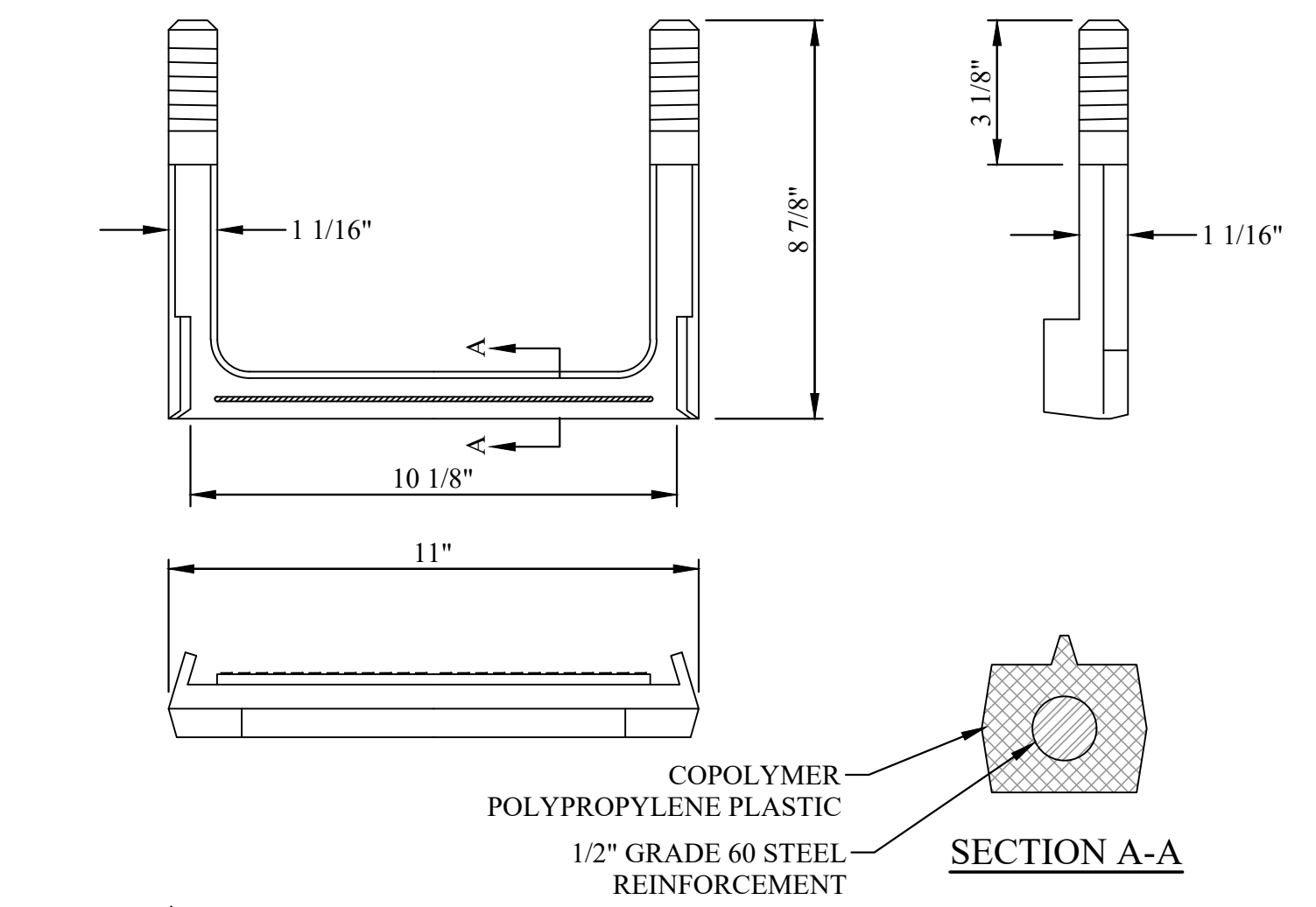


RELINER DESIGNATION *	INFLUENT LINE DIAMETER
A-4	6"

**INTERIOR DROP MANHOLE**  
 NOT TO SCALE

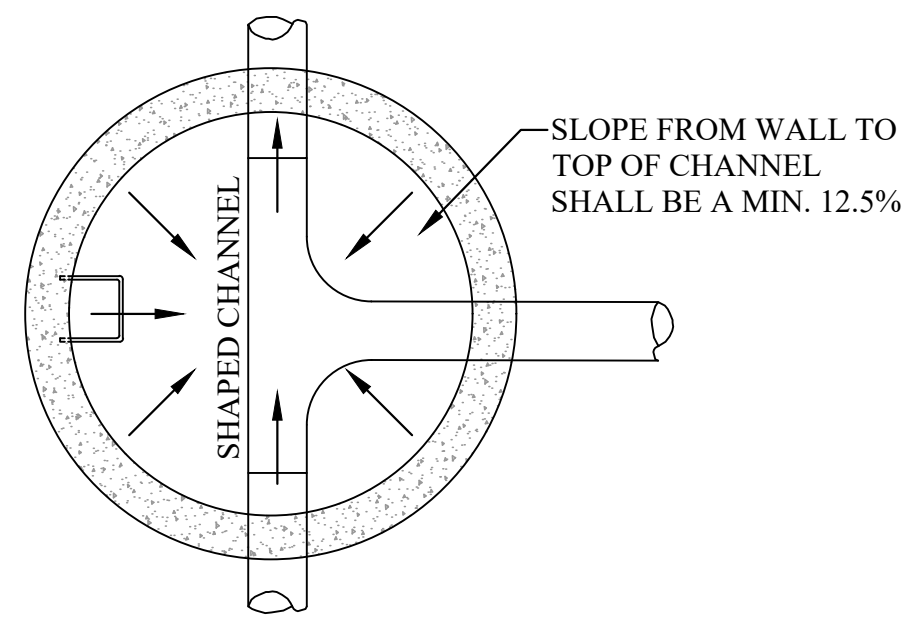
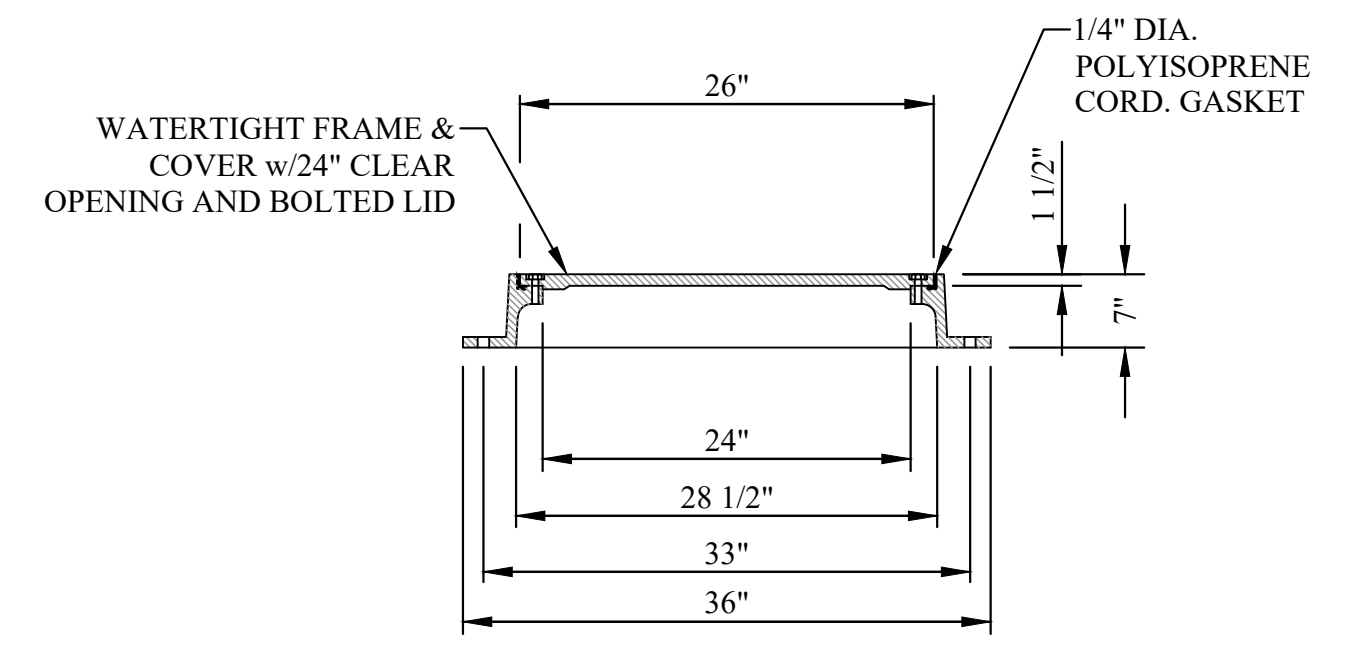


**REGULAR MANHOLE**  
 NOT TO SCALE



- NOTES:**
1. MANHOLE STEPS SHALL BE IMPACT RESISTANT CO-POLYMER POLYPROPYLENE PLASTIC MOLDED AROUND 1/2" DIAMETER GRADE 60 REINFORCED STEEL. STEPS SHALL BE STANDARD BLACK IN COLOR AND SHALL HAVE NON-SLIP TREAD ON BOTH SIDES.
  2. TOP STEP SHALL NOT BE GREATER THAN 2'-0" FROM TOP OF MANHOLE.
  3. LANDING TO BOTTOM STEP SHALL NOT BE GREATER THAN 2'-0".
  4. STEPS MEET: ASTM C-478 / ASTM D-4101 / ASTM A-615 / AASHTO M-199

**MANHOLE STEP**  
 NOT TO SCALE



- NOTES:**
1. MANHOLES & CLEANOUTS TO BE BURIED 1' MIN. UNDER WVDOT ROADWAY DITCHES & 6" MIN. IN THE SHOULDER AREAS.
  2. CHANNEL SLOPES SHALL BE A MIN. OF 0.10 SLOPE FROM PIPE INVERT THROUGH PIPE INVERT OUT.
  3. ALL SEALED JOINTS IN MANHOLE TO BE WATERTIGHT.
  4. ALL MANHOLES SHALL BE PRECAST CONSTRUCTION, AND SHALL INCLUDE CAST IN PLACE FLEXIBLE PIPE TO MANHOLE CONNECTORS AT ALL PIPE PENETRATIONS.

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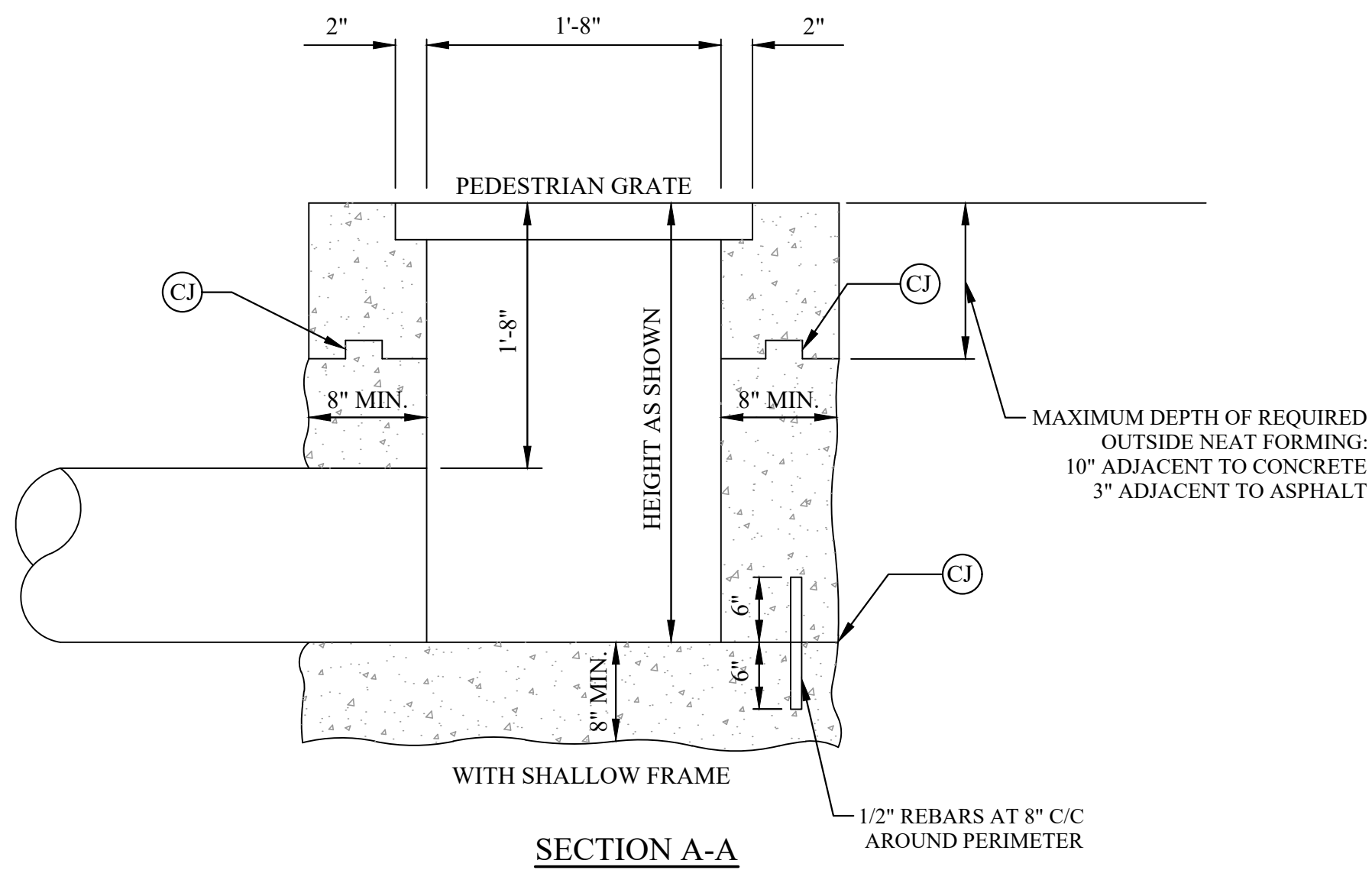
**NOT FOR CONSTRUCTION**

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USER: wwt.j. draper

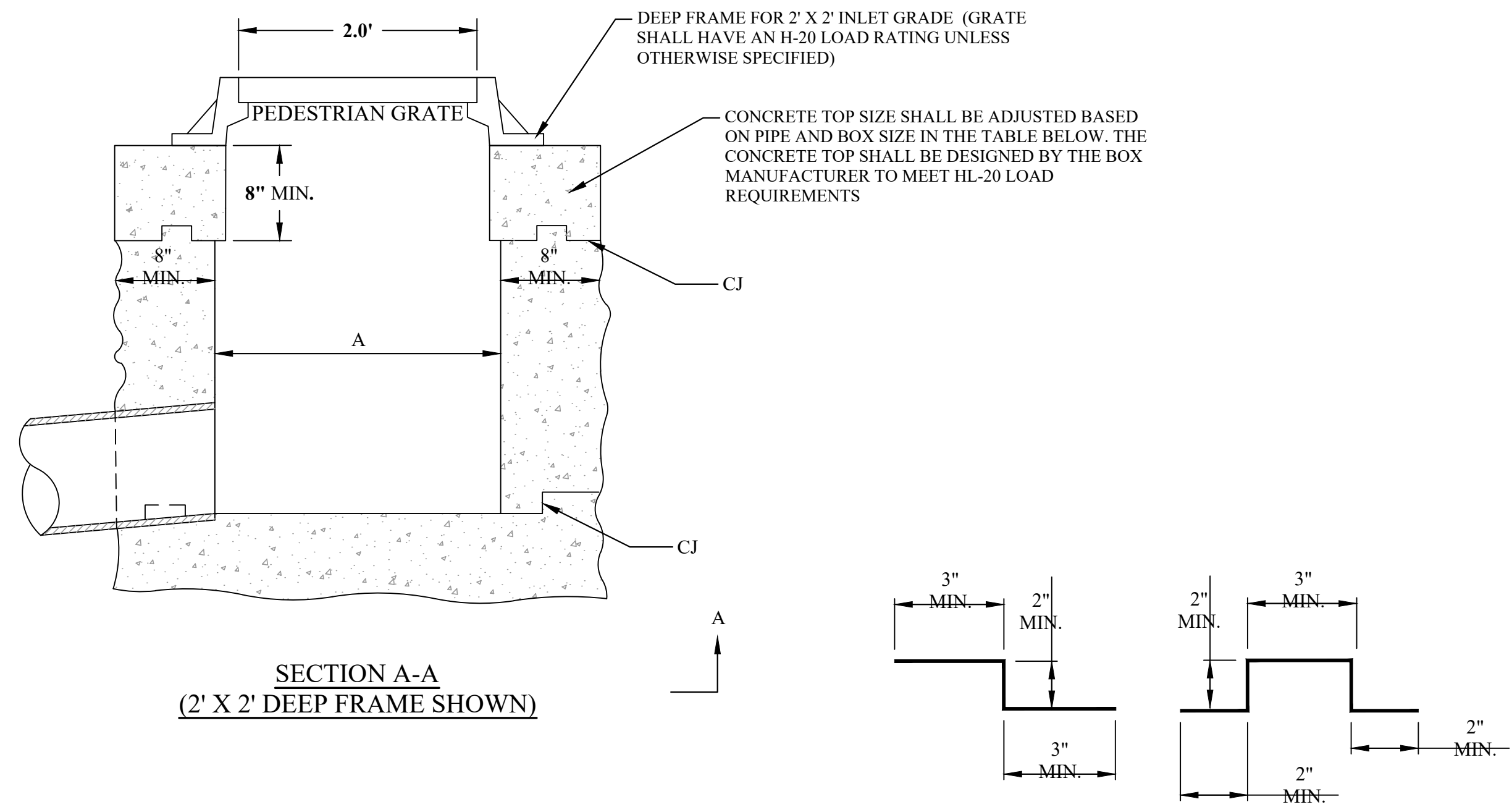


**NOTE:**

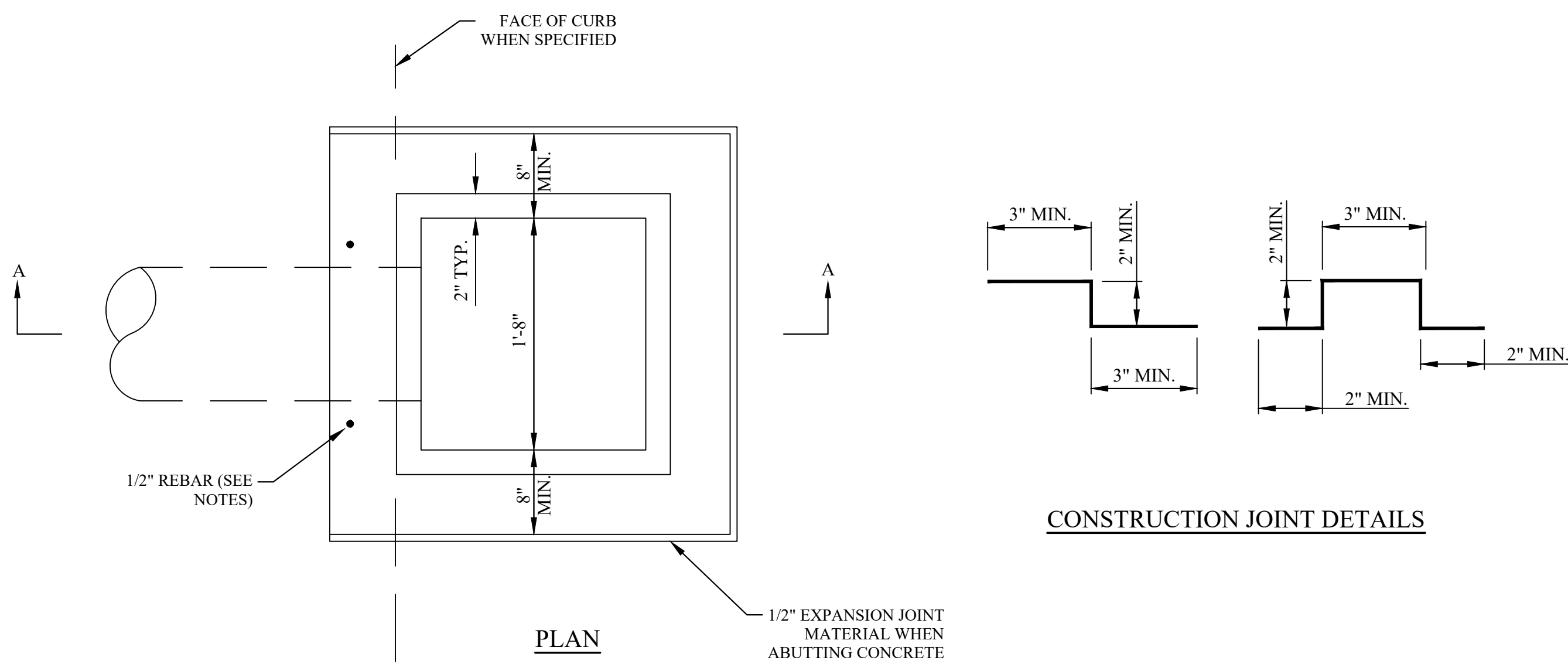
1. SHALLOW FRAMES ARE ONLY TO BE USED IN THE LAWN AREAS.

**NOTES:**

1. UNLESS OTHERWISE SPECIFIED ON THE PLANS, TYPE B INLETS ARE TO BE CONSTRUCTED IN THE SHAPE SHOWN.
2. CONSTRUCTION MAY BE CAST-IN-PLACE, PRECAST IN ONE OR MORE MULTIPLE SECTIONS, OR ANY COMBINATION OF CAST-IN-PLACE AND PRECAST.
3. OPTIONAL CONSTRUCTION JOINTS LABELED "CJ" MAY BE ROUGHENED CONCRETE, KEYED OR DOWELED AS PER THE TYPICAL DETAILS SHOWN HEREIN, OR AS APPROVED BY THE ENGINEER. NON SHRINK GROUT MEETING THE REQUIREMENTS OF SUBSECTION 715.5 OF THE SPECIFICATIONS MAY BE USED TO A DEPTH OF 1/2" FOR LEVELING BETWEEN PRECAST SECTIONS. THICKER DEPTHS WILL BE ALLOWED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
4. THE FINAL INSTALLED TOP SURFACE OF INLET AND GRATE SHALL BE FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS PAVEMENT, GUTTERS, CURBS, AND SIDEWALKS. TOP OF GRATE ELEVATION, IF SHOWN ON THE PLANS, IS FOR INFORMATION ONLY.
5. REBARS ARE TO BE INSTALLED AT THE QUARTER POINTS TO CONNECT CURB TO INLET. REBARS ARE NOT REQUIRED IF CURB IS POURED MONOLITHICALLY WITH THE INLET OR IF TYPE V OR VI MEDIAN IS SPECIFIED ON THE PLANS.
6. THE CONTRACTOR MAY, AT HIS OPTION, OMIT USE OF THE SHALLOW FRAME BY FORMING A LEDGE IN THE CONCRETE.
7. SPECIAL CARE SHALL BE EXERCISED IN FORMING THE 2" WIDE CONCRETE LEDGE TO PROVIDE A SMOOTH, EVEN SURFACE FOR SUPPORTING THE GRATE IF A FRAME IS NOT USED. NO PROJECTIONS SHALL EXIST ON THE GRATE AND THE GRATE SHALL SEAT ON THE LEDGE WITHOUT ROCKING.
8. FIBRE FORM SHALL BE REMOVED PRIOR TO COMPLETION OF THE PROJECT.
9. PC (MINIMUM PIPE COVER) SHALL BE 12" BELOW INLET TOP FOR PIPES PLACED UNDER SIDEWALK OR GRASSED AREA OR 24" BELOW INLET TOP FOR PIPES PLACED UNDER PAVEMENT OR SHOULDER.
10. CURB, IF SPECIFIED, MAY BE EITHER CONCRETE PLACED ON THE INLET BACKWALL AS DETAILED HEREIN OR AN APPROVED CURB BOX AS MANUFACTURED WITH THE GRATE AND FRAME. DIMENSIONS OF THE CURB BOX SHOULD REASONABLY CONFORM TO THE STANDARD CURB AS SPECIFIED IN THE PLANS. THE CURB WILL BE PAID FOR PER SECTION 610, IN EITHER CASE.
11. THIS INLET SHALL NOT BE PLACED IN A PEDESTRIAN CROSS WALK.
12. THE MINIMUM DISTANCE FROM THE TOP OF ANY PIPE OPENING TO ANY CONSTRUCTION JOINT ABOVE THE OPENING SHALL BE FOUR (4) INCHES.
13. THE NUMBER AND LOCATION OF PIPE OPENINGS SHALL BE AS SHOWN IN THE PLANS. THE CONTRACTOR AT NO ADDITIONAL COST, SHALL BE RESPONSIBLE FOR ANY TEMPORARY BRACING REQUIRED TO TRANSPORT PRECAST INLET SECTIONS DUE TO MULTIPLE OPENINGS.



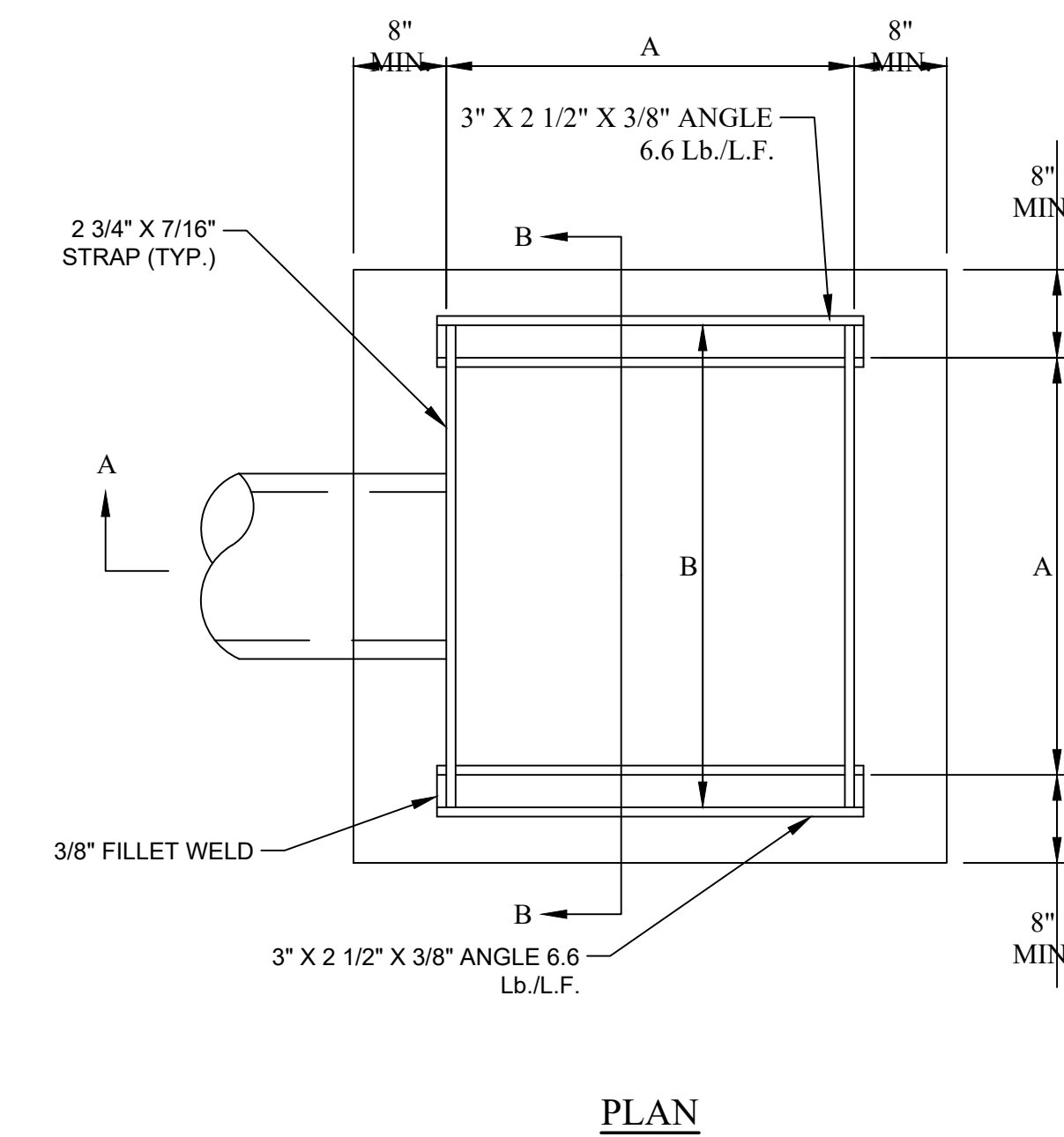
**CONSTRUCTION JOINT DETAILS**



**NOTE:**

1. SQUARE INLET STRUCTURE SHOWN. SQUARE OR CIRCULAR STYLE MAY BE USED.

**TYPE B INLET**  
 NOT TO SCALE



**PLAN**

**NOTES:**

1. OPTIONAL CONSTRUCTION JOINTS LABELED "CJ" MAY BE KEYED OR DOWELED AS PER THE TYPICAL DETAILS SHOWN HEREIN OR AS APPROVED BY THE ENGINEER.

DIMENSIONS					
PIPE SIZE	A	B	C	D	H (min)
18"	2'-8"	3'-2"	2'-7 3/4"	3'-1 3/4"	2'-0"
21"	2'-8"	3'-2"	2'-7 3/4"	3'-1 3/4"	2'-3"
24"	2'-8"	3'-2"	2'-7 3/4"	3'-1 3/4"	2'-6"
27"	3'-0"	3'-6"	2'-11 3/4"	3'-5 3/4"	2'-9"
30"	3'-6"	4'-0"	3'-5 3/4"	3'-11 3/4"	3'-0"
33"	3'-9"	4'-3"	3'-8 3/4"	4'-2 3/4"	3'-3"
36"	4'-0"	4'-6"	3'-11 3/4"	4'-5 3/4"	3'-6"
42"	4'-6"	5'-0"	4'-5 3/4"	4'-11 3/4"	4'-0"
48"	5'-0"	5'-6"	4'-11 3/4"	5'-5 3/4"	4'-6"

**MODIFIED TYPE G INLET WITH**  
**2' X 2' INLET GRATE**  
 NOT TO SCALE

**THE FOUNDRY  
 HUNTINGTON MUNICIPAL  
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 CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

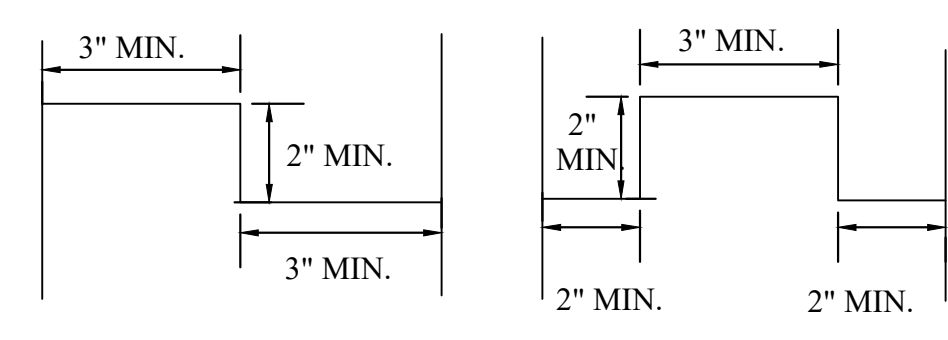
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PROJECT No. T60-11055

DETAILS

SHEET No.

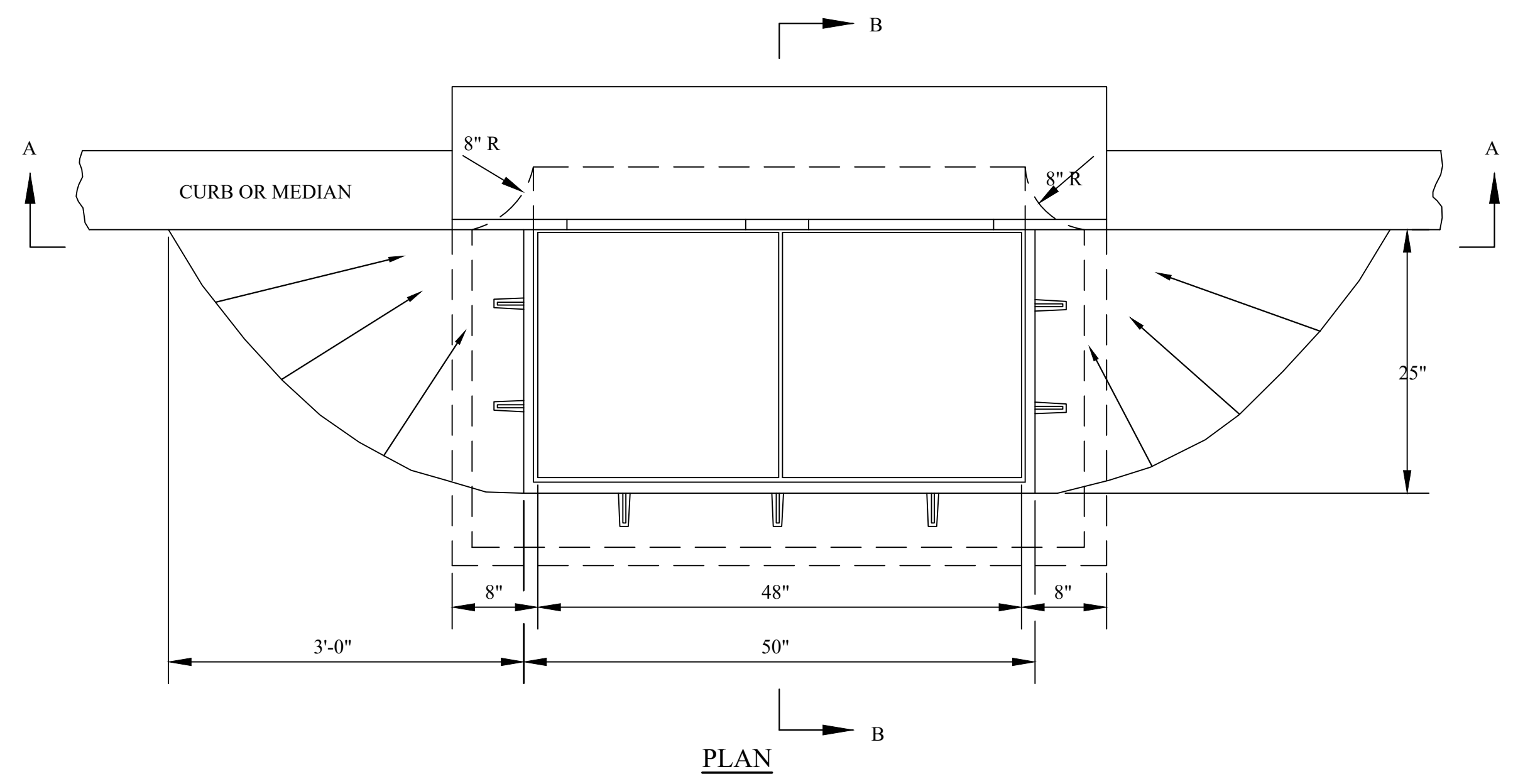
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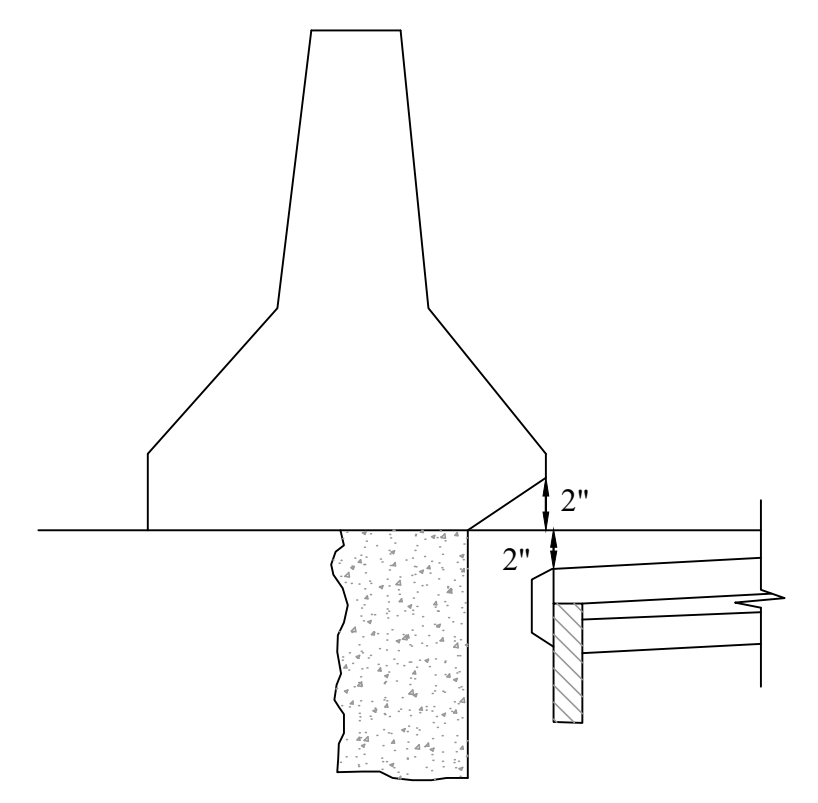
**CONSTRUCTION JOINT DETAILS**

**NOT FOR CONSTRUCTION**

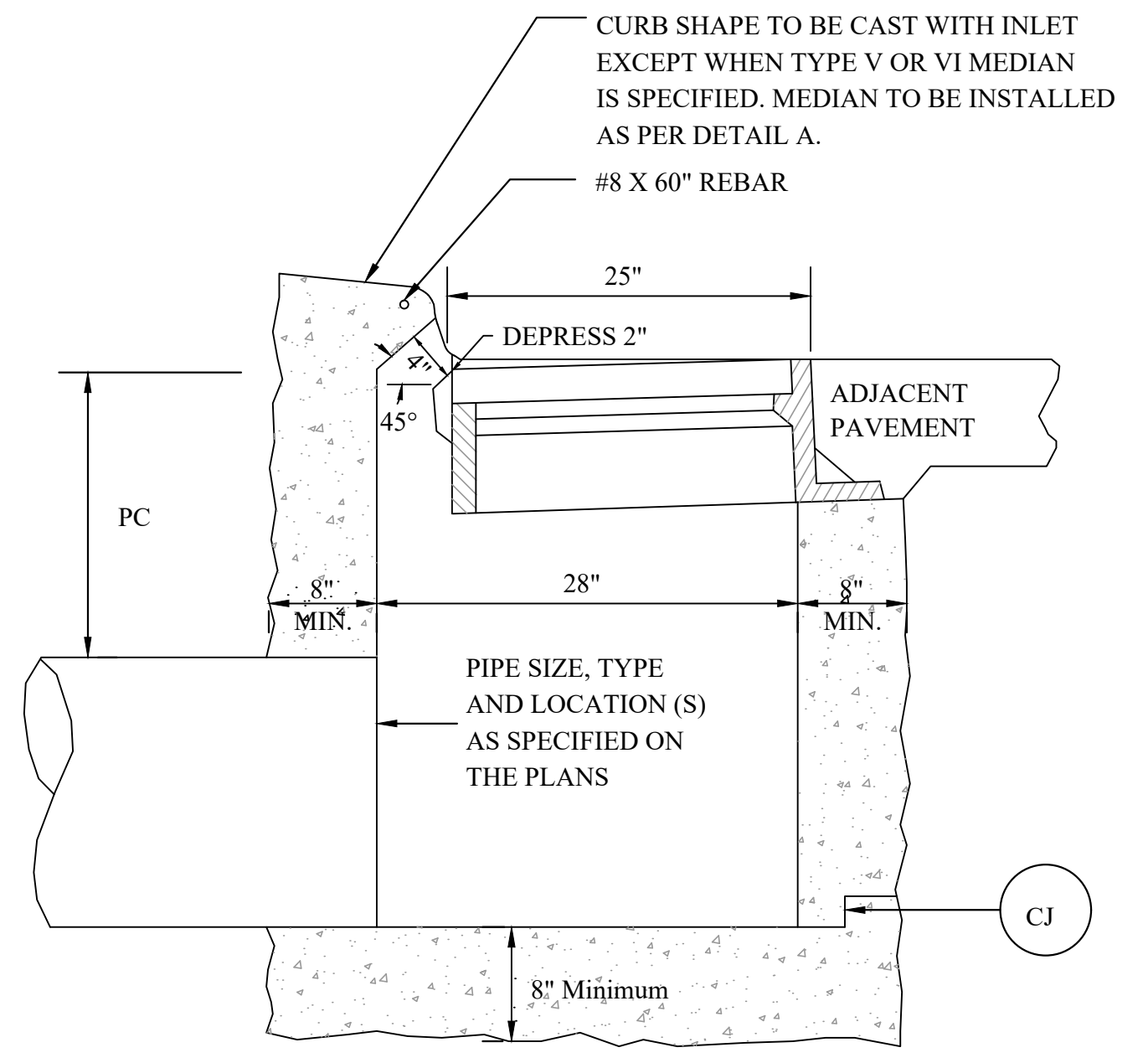
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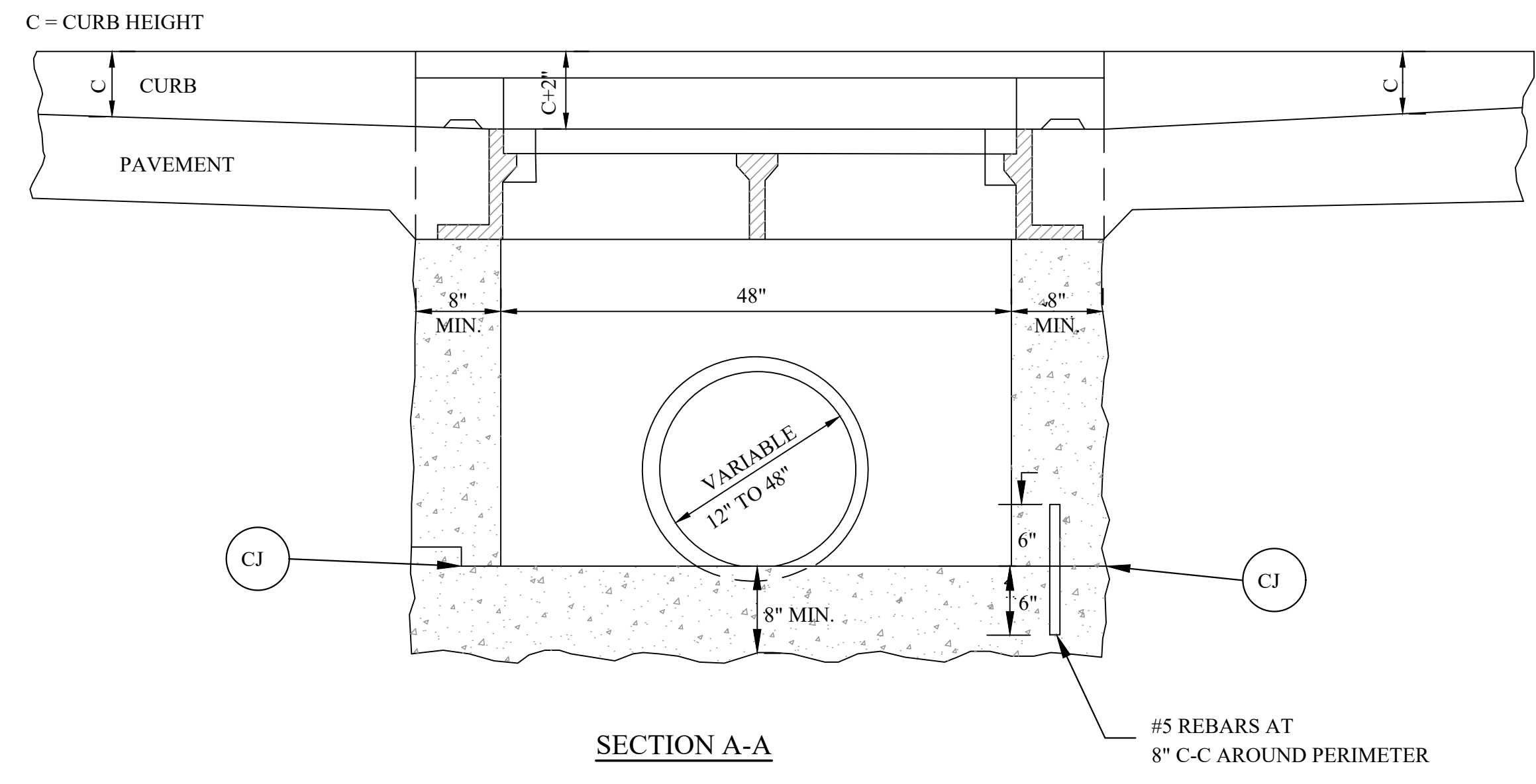
**PLAN**



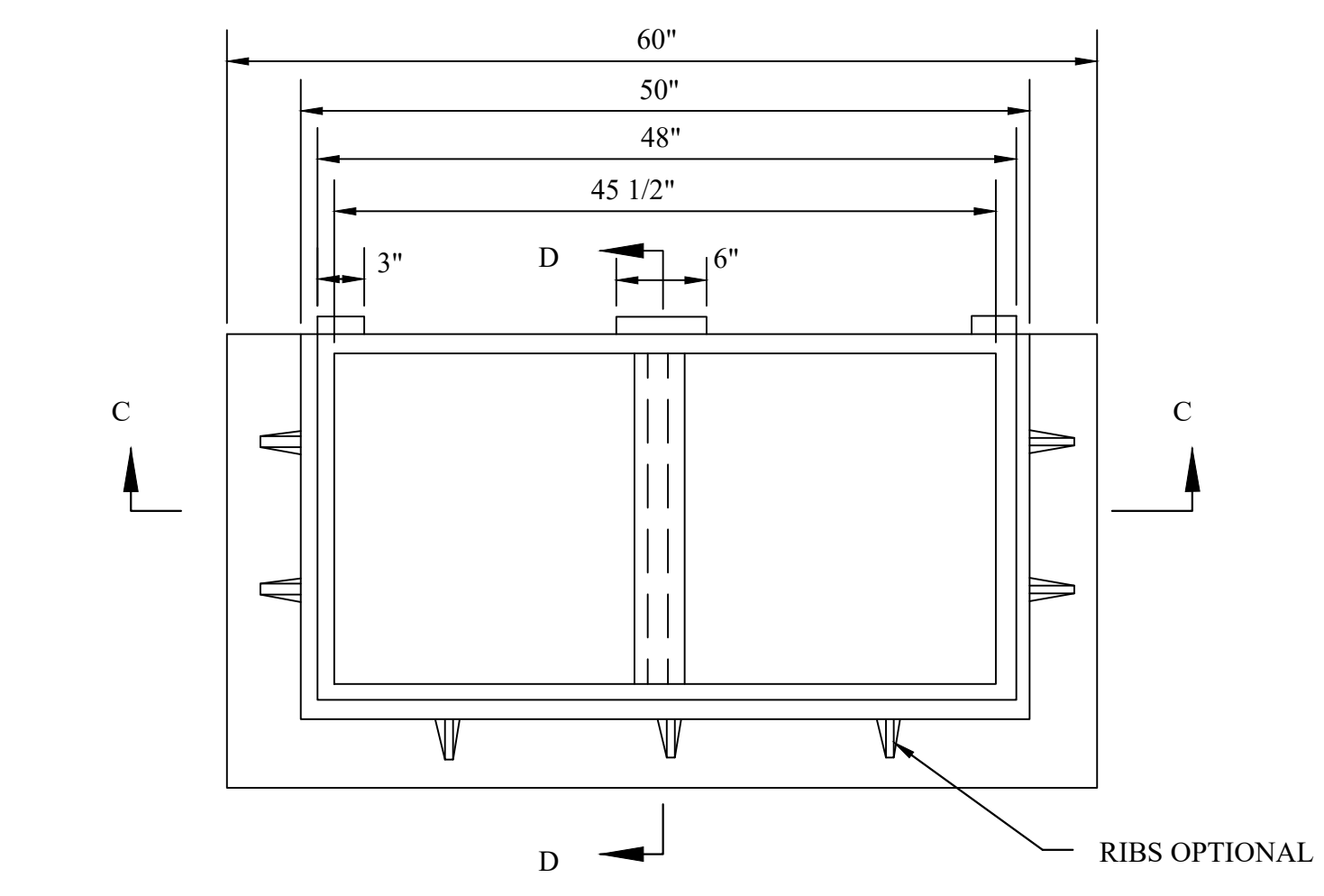
**DETAIL A**



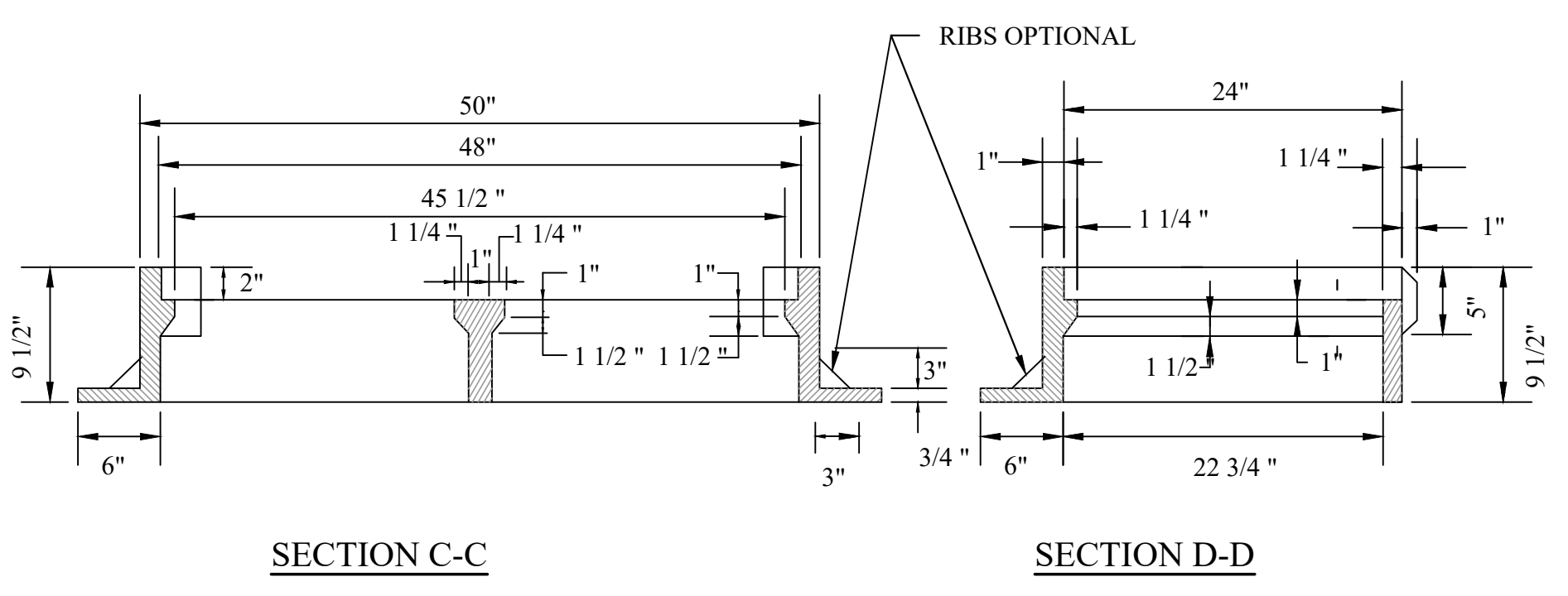
**SECTION B-B**



**SECTION A-A**



**PLAN**



**DETAIL OF FRAME**

**TYPE F INLET**  
NOT TO SCALE

**NOTES:**

THE FINAL INSTALLED TOP SURFACE OF INLET AND GRATE SHALL BE FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS PAVEMENT, GUTTERS, CURBS AND SIDEWALKS. TOP OF GRATE ELEVATION, IF SHOWN ON THE PLANS, IS FOR INFORMATION ONLY.

CONSTRUCTION MAY BE CAST-IN PLACE, PRECAST IN ONE ANY COMBINATION OF CAST-IN-PLACE AND PRECAST.

OPTIONAL CONSTRUCTION JOINTS LABELED "CJ" MAY BE ROUGHENED CONCRETE, KEYED OR DOWELED AS PER THE TYPICAL DETAILS SHOWN HEREIN OR AS APPROVED BY THE ENGINEER. NON SHRINK GROUT MEETING THE REQUIREMENTS OF SUBSECTION 715.5 OF THE SPECIFICATIONS MAY BE USED TO A DEPTH OF 1/2" FOR LEVELING BETWEEN PRECAST SECTIONS. THICKER DEPTHS WILL BE ALLOWED IF AS PER THE MANUFACTURER'S RECOMMENDATIONS.

THE COVERING FOR REINFORCING STEEL SHALL BE TWO INCHES, MEASURED FROM THE SURFACE OF THE CONCRETE TO THE FACE OF THE BAR, UNLESS OTHERWISE SHOWN.

FOR DETAILS OF GRATES (TWO REQUIRED), SEE INLET CASTINGS STANDARD SHEET DR6-X.

PC (MINIMUM PIPE COVER) SHALL BE 12" BELOW INLET TOP FOR PIPES PLACED UNDER SIDEWALK OR GRASSED AREA OR 24" BELOW INLET TOP FOR PIPES PLACED UNDER PAVEMENT OR SHOULDER.

CURB, IF SPECIFIED, MAY BE EITHER CONCRETE, PLACED ON THE INLET BACKWALL AS DETAILED HEREIN OR AN APPROVED CURB BOX AS MANUFACTURED WITH THE GRATE AND FRAME. DIMENSIONS OF THE CURB BOX SHOULD REASONABLY CONFORM TO THE STANDARD CURB SECTION 610, IN EITHER CASE.

THIS INLET SHALL NOT BE PLACED IN A PEDESTRIAN CROSS WALK.

THE MINIMUM DISTANCE FROM THE TOP OF ANY PIPE OPENING TO ANY CONSTRUCTION JOINT ABOVE THE OPENING SHALL BE FOUR (4) INCHES.

THE NUMBER AND LOCATION OF PIPE OPENINGS SHALL BE AS SHOWN IN THE PLANS. THE CONTRACTOR AT NO ADDITIONAL COST, SHALL BE RESPONSIBLE FOR ANY TEMPORARY BRACING REQUIRED TO TRANSPORT PRECAST INLET SECTIONS DUE TO MULTIPLE OPENINGS.

**THE FOUNDRY  
HUNTINGTON MUNICIPAL  
DEVELOPMENT AUTHORITY  
CONTRACT #1 SITE AND UTILITIES**

CABELL COUNTY, WV

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SHEET No.

**C6.09**

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USER: wyeat.j.draeger

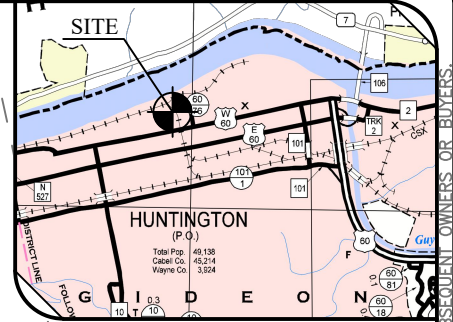
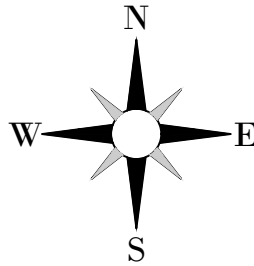






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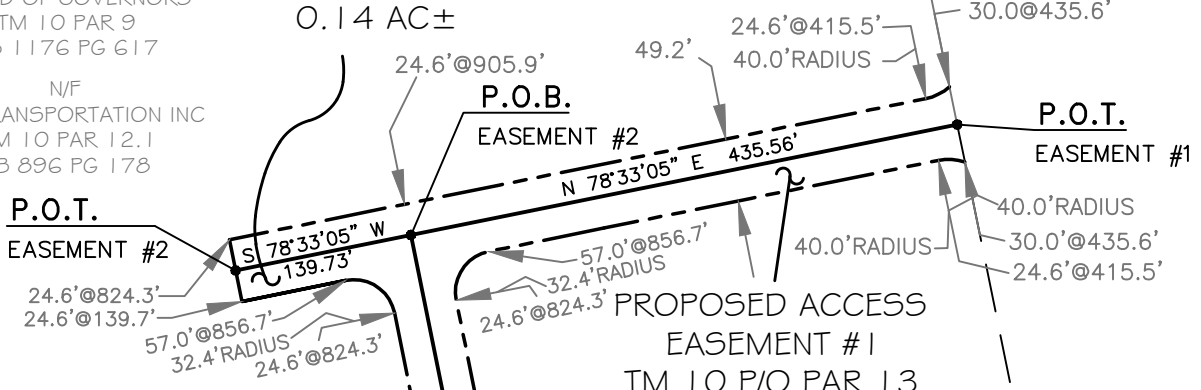
NOTE: THE TRACT SHOWN BEING A PART OF THE SAME LANDS CONVEYED TO HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY FROM ACF INDUSTRIES LLC AS RECORDED IN DEED BOOK 1416 PAGE 224 AT THE OFFICE OF THE CLERK, CABELL COUNTY, WEST VIRGINIA.



- HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY  
TM 10 PAR 12  
DB 1416 PG 224  
N/F
- MARSHALL UNIVERSITY BOARD OF GOVERNORS  
TM 10 PAR 9  
DB 1176 PG 617  
N/F
- CSX TRANSPORTATION INC  
TM 10 PAR 12.1  
DB 896 PG 178  
N/F

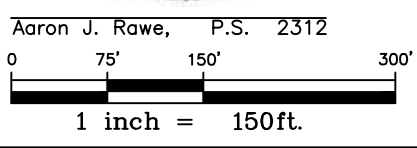
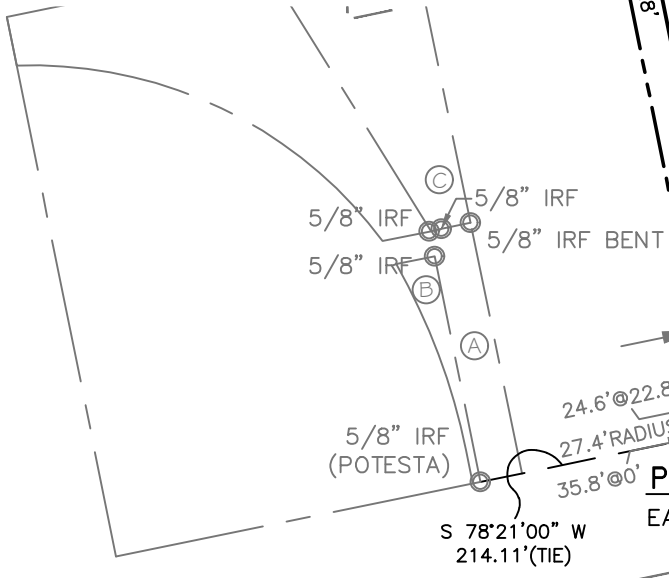
**PROPOSED ACCESS EASEMENT #2**  
TM 10 P/O PAR 13  
DB 1416 PG 224  
0.14 AC±

BASIS OF BEARING WEST VIRGINIA STATE PLANE SOUTH ZONE (2011)



**LEGEND/ABBREVIATIONS**

- = PROPERTY LINE
- - - = ADJOINER LINE
- · - · - = TIE LINE
- - - - - = PROPOSED 50' EASEMENT
- = POINT
- = MONUMENT FOUND (AS NOTED)
- (T) = TOTAL
- R/W = RIGHT-OF-WAY
- P.O.B. = POINT OF BEGINNING
- P.O.T. = POINT OF TERMINUS
- TM = TAX MAP NUMBER
- PAR = PARCEL NUMBER
- P/O = PART OF
- N/F = NOW OR FORMERLY
- IRF = REBAR FOUND (size as noted)
- = 5/8" \* 30" REBAR SET



**PLAT OF SURVEY FOR**  
HUNTINGTON MUNICIPAL DEVELOPMENT AUTHORITY

SHOWING  
PROPOSED PARCEL & ACCESS EASEMENTS  
OF THE

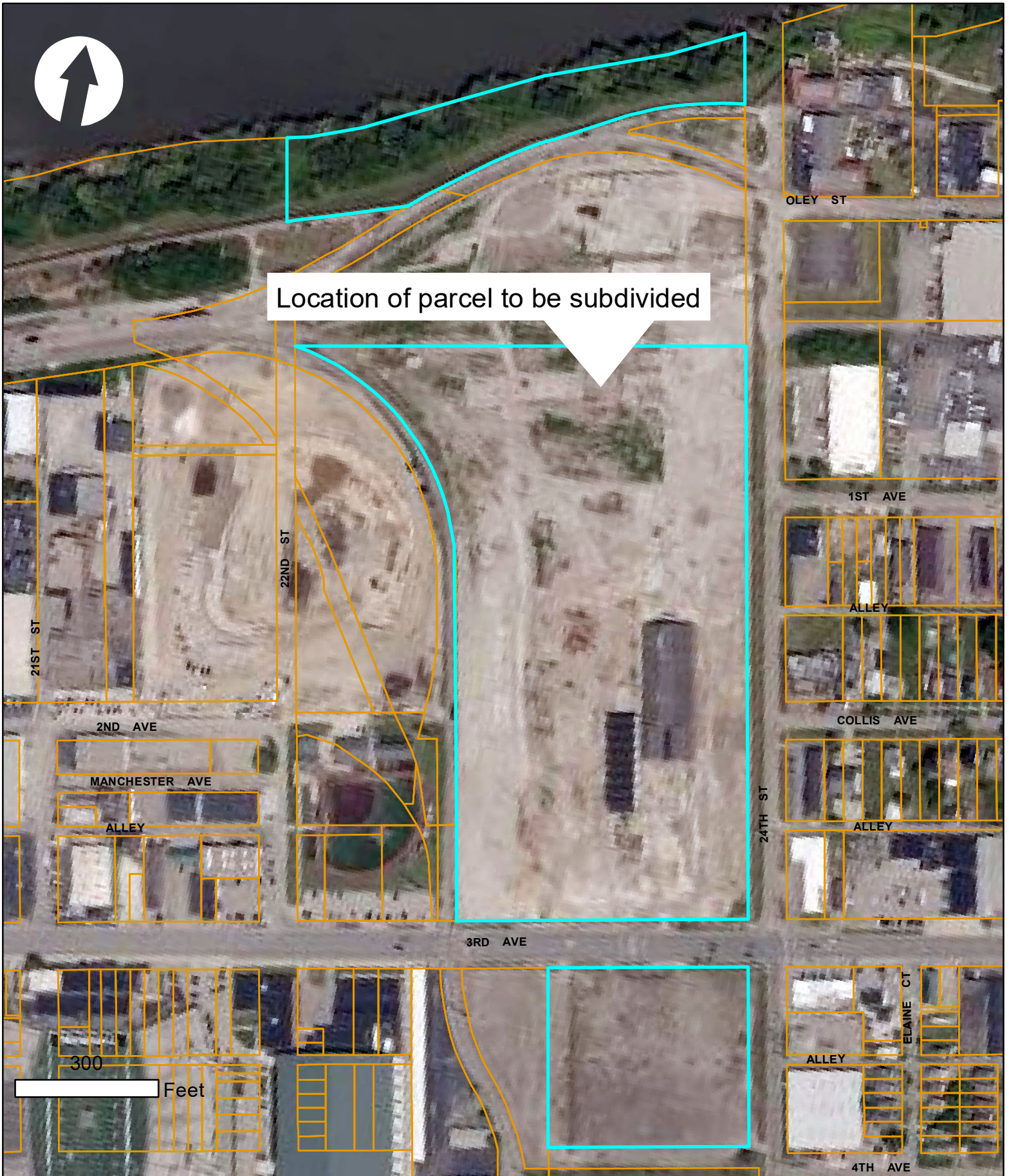
HUNTINGTON-GIDEON CORP      WEST VIRGINIA  
CABELL COUNTY                      APRIL 2024

THIS SURVEY IS VOID WITHOUT ORIGINAL BLUE SIGNATURE AND SEAL. DECLARATIONS MADE HEREIN ON THE DATE INDICATED ARE TO THE OWNERS(S) OF BUYER(S) LISTED BELOW AND ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSOR OWNERS OR BUYERS.





Location of parcel to be subdivided



**PC 24-05**  
**Cabell Tax District 5, Map 10**  
**Parcel 13**  
**Parcel to be subdivided**












Location of parcel to be subdivided

**Zoning**

-  R-2 Single-family Residential
-  R-5 Multi-family Residential
-  C-2 Highway Commercial
-  I-1 Lt Ind/Comm
-  I-2 Heavy Industrial

300 Feet

**PC 24-05**  
**Cabell Tax District 5, Map 10**  
**Parcel 13**  
**Parcel to be subdivided**







Location of parcel to be subdivided

**Future Land Use (Plan2025)**

- Traditional Residential
- Convenience Commercial
- Light Industrial
- University

300 Feet

**PC 24-05**  
**Cabell Tax District 5, Map 10**  
**Parcel 13**  
**Parcel to be subdivided**

